



DESIGN REVIEW BOARD RECORD OF DECISION

Meeting Date April 14, 2022 **DRB Case No.** PDR 2111714
Address 924 Old Phillips Road
Applicant Nareg Khodadadi

Project Summary:

The applicant is proposing to demolish an existing 2,243 square-foot, one-story, single-family dwelling and attached two-car garage (built in 1967) and to construct a new 3,363 square-foot, two-story, single-family dwelling with an attached 440 square-foot, two-car garage on a 9,250 square-foot property located in the R1R (Restricted Residential, Floor Area District II) Zone.

Design Review:

Board Member	Motion	Second	Yes	No	Absent	Abstain
Lockareff	X		X			
Minas			X			
Simonian					X	
Tchaghayan		X	X			
Welch			X			
Totals			4	0		
DRB Decision		Return for Redesign				

Condition:

1. Reduce the height of the roof at the entry porch to align its fascia with that of the one-story portion of the house. Lower the front door height correspondingly.
2. Restudy the design of the stair tower area at the front façade, possibly creating a break between the first and second levels, revising the window pattern and/or shifting the location of the stairs, to provide better integration of the two sides of the primary façade.
3. Shift the second floor mass to the southwest to soften the overall building mass and provide some massing relief to the adjoining property.

4. Revise the roof design to create better-integrated forms, particularly at the stair tower, second level, and the entry to avoid the appearance of multiple independent roof forms. This may, at least in part, be accomplished through the implementation of conditions 1 to 3.
5. That the driveway and entry walkway be repaved with a decorative material consistent with the design, with consideration given to a permeable paving material.
6. Revise the balcony railing designs to be more compatible with the traditional features of the design.
7. Clarify the final design of the front doors. If they will not be simple single-light glazed doors, drawings and/or cut sheets must be submitted for staff review and approval.
8. Use opaque, non-reflective panels at the garage door.
9. Eliminate or significantly reduce the size of the second floor balcony at the rear façade from the proposal and redesign it to enhance privacy of adjacent properties. Applicant is to provide with the resubmittal for the board's review sight line studies, site section drawings, and photos that illustrate the potential privacy impacts of the front and rear balconies at the second floor.
10. Indicate exterior lighting locations on the elevation drawings and provide cut sheets of the proposed fixtures for staff review and approval. Avoid overlighting the building facades and specify fixtures that will avoid light spillover onto adjoining properties.
11. Work with Building & Safety and Planning staff to obtain all necessary permits and approvals to legalize, modify, or rebuild the existing unpermitted retaining wall at the rear of the property.

DRB Staff Member Vista Ezzati, Planner

Notes:

All resubmittals require a DRB application and fee payment. According to Section GMC 30.47.075, projects submitted after 180 days following the DRB's decision date are to be considered as new projects and must submit a new DRB application and all corresponding materials, including new mailing list and labels.

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.

NEW HOUSE
AIVAZIAN RESIDENCE
924 OLD PHILLIPS RD. GLENDALE, CA 91207

PROJECT INFORMATION

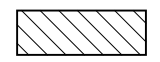



PROJECT LOCATION
924 OLD PHILLIPS RD.
GLENDALE, 91207

OWNER
AIVAZIAN
924 OLD PHILLIPS RD.
GLENDALE, 91207

PROJECT DESIGNER
DESIGNNRK
213 N. ORANGE STREET, STE. E
GLENDALE, 91203
OFFICE : 818.823.7286
FAX : 888.424.8125
E-MAIL : INFO@DESIGNNRK.COM

SITE PLAN KEYED NOTES

1. PROPERTY LINE
2. NEW SFD FLOOR LINE
3. GARAGE LINE
4. EXT'G DRIVEWAY TO REMAIN
5. EXT'G LANDSCAPING TO REMAIN
6. NEW CONC. PATIO (NOT COVERED)
7. DIRECTION OF SHEET FLOW 2%
8. NEW CONC. LANDING WITH STEPS
9. EXT'G PLANTER WALL TO REMAIN
10. EXT'G BLOCK WALL TO REMAIN
11. EXT'G DRIVEWAY LINE
12. NEW LANDSCAPE

-  PROPOSED FIRST FLOOR AREA
-  PROPOSED SECOND FLOOR AREA
-  EXT'G LANDSCAPING
-  NEW 2 CAR GARAGE

CITY OF GLENDALE PLANNING NOTES

"NO OAK, BAY OR SYCAMORE TREES ARE ON THE PROPERTY
OR WITHIN 20 FEET OF THE PROPERTY"

RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES, REQUIRE
SEPARATE PERMIT.

APRON & CURB SHALL BE
CONSTRUCTED PER PUBLIC
WORKS ENG. REQUEST.
SEPARATE PERMIT
REQUIRED.

SITE MAP



SHEET INDEX

ARCHITECTURAL SHEETS:

- A0.1 COVER SHEET & SITE PLAN
A0.2 SECURITY & GREEN NOTES
A1.1 EXT'G SITE PLAN
A1.2 NEIGHBORING PROPERTIES
A2.1 PROPOSED FIRST FLOOR PLAN
A2.2 PROPOSED SECOND ROOF PLAN
DOOR / WINDOW SCHEDULE
A2.3 PROPOSED ROOF PLAN
A2.4 EXT'G ROOF PLAN
A3.0 EXT'G ELEVATIONS
A3.1 EXTERIOR ELEVATIONS
A3.2 EXTERIOR ELEVATIONS
A4.1 BUILDING SECTIONS

TITLE 24:

- T1 ENERGY CALCULATIONS
T2 ENERGY CALCULATIONS

ENGINEERING SHEETS:

- S-1.0 GENERAL NOTES
S-1.1 GENERAL NOTES
S-1.2 DETAILS
S-2.1 FOUNDATION PLAN
S-2.2 ROOF FRAMING PLAN
S-3.1 DETAILS
S-3.2 DETAILS

PROJECT FLOOR PLAN AREA & DATA

LOT AREA	9,250± SQ. FT.
NEW SINGLE FAMILY RESIDENCE	3,363 SQ. FT.
FIRST FLOOR	2,665 SQ. FT.
SECOND FLOOR	698 SQ. FT.
NEW 3 CAR GARAGE	440 SQ. FT.
TOTAL LIVING AREA	3,363 SQ. FT.

FLOOR AREA RATIO	TOTAL LIVING AREA : 3,363 SQ. FT.	
MAX. 40%	LOT AREA (9,250 SQ. FT.)	36 %
TOTAL MAX. - 3,710 SQ. FT.		

LOT COVERAGE RATIO	LOT COVERAGE (3,105 SQ. FT.)	
MAX. 40% - 3,700 SQ. FT.	LOT AREA (9,250 SQ. FT.)	34 %

LANDSCAPE RATIO	LANDSCAPED AREA (4,880 SQ. FT.)	
MIN. 40% - 3,700 SQ. FT.	LOT AREA (9,250 SQ. FT.)	53 %

ZONING	R1R II
APN	5649-002-039
OCCUPANCY	RESIDENCE R-3 GARAGE U
CONSTRUCTION TYPE	V-8
YEAR BUILT	1967
NUMBER OF STORIES	1
FIRE ZONE	YES
CA CLIMATE ZONE	9
FIRE SPRINKLERS	NO

PROJECT SHALL COMPLY W/ THE 2019 CBC, CMC, CEC, CPC, GFD &
CALIFORNIA ENERGY CODE AS WELL AS THE 2020 GLENDALE BUILDING &
SAFETY CODE. CBC SECTION 106.1.1

SCOPE OF WORK

- NEW SINGLE FAMILY DWELLING (3,363 SQ. FT.) WITH 4
BEDROOMS AND 4.5 BATHROOMS
- NEW ATTACHED 2-CAR GARAGE (440 SQ. FT.)

NOTES

A. SEPARATE PERMIT IS REQUIRED FOR THE FOLLWING :

1. RETAINING WALL OF BLOCK FENCE WALL
2. GRADING WORK
3. SWIMMING POOL
4. A SEPARATE STRUCTURE
5. SHORING
6. DEMOLITION

B. NO CHANGE IN GRADES ALLOWED

FIRE DEPT. NOTES

1. **ADDRESS NUMBERS:** APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR
APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS
PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAYS
GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL
CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC
NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF FOUR (4)
INCHES (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM) AND
SHALL BE ILLUMINATED IN AN APPROVED MANNER (IF NUMBERS ARE ON THE
EXTERIOR). NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS
NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.

2. **FIRE SPRINKLERS:** PROVIDE A COMPLETE AUTOMATIC FIRE SPRINKLER SYSTEM
THROUGHOUT THE STRUCTURE INSTALLED IN ACCORDANCE WITH THE
RECOMMENDATIONS OF NFPA 13D AND THE REQUIREMENTS OF THE GLENDALE
FIRE DEPARTMENT. FIRE SPRINKLER PLANS SHALL BE SUBMITTED WITHIN 30 DAYS
OF ISSUANCE OF THE BUILDING PERMIT.

3. **SMOKE DETECTORS:** SMOKE DETECTORS SHALL BE WIRED TO THE BUILDING
ELECTRICAL SYSTEM, BE EQUIPPED WITH BATTERY BACKUP, AND EMIT A SIGNAL
WHEN BATTERIES ARE LOW. SMOKE ALARMS SHALL BE INTERCONNECTED, SO
THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OTHER SMOKE
DETECTORS.

4. **CARBON MONOXIDE DETECTORS:** SHALL BE INSTALLED OUTSIDE OF EACH
SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE
BEDROOM (2) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
ALARMS SHALL BE HARDWIRED FROM THE BUILDING POWER SUPPLY AND
EQUIPPED WITH BATTERY BACKUP. DETECTORS SHALL MEET U.L. 2034 AND IOR
NFPA 720 STANDARDS. 2019 CALIFORNIA RESIDENTIAL CODE CHAPTER 3 SEC.
R315

5. **EGRESS:** ALL REQUIRED EXITS ARE TO BE OPENABLE FROM THE INSIDE
WITHOUT KEY OR SPECIAL KNOWLEDGE OR EFFORT.

6. **REQUIRED FIRE DEPARTMENT INSPECTIONS** FOR THIS PROJECT ARE LISTED
BELOW. FOR ALL INSPECTIONS, CALL 818-548-4810

7. **FIRE PERMITS:** THE FOLLOWING PERMITS ARE REQUIRED FROM THE FIRE
DEPARTMENT:

8. **FUEL MODIFICATION / LANDSCAPING FOR HIGH FIRE HAZARD AREAS
(HFHA) :**
MAINTAIN EXISTING / PROVIDE FUEL MODIFICAITON ONLY - NO FIRE
DEPARTMENT REVIEW OR PERMITTING OF LANDSCAPE PLANS.
ALL FUEL MODIFICATION / LANDSCAPING SHALL COMPLY WITH FIRE
DEPARTMENT APPROVAL / PERMITTED LANDSCAPE PLANS.

- ☒ FIRE SPRINKLER OVERHEAD/UNDERGROUND ROUGH AND FLUSH
(BEFORE COVERING ANY PIPING)
- ☒ FIRE SPRINKLER FINAL
- ☒ FIRE PREVENTION BUREAU FINAL (ADDRESS SIGNS, EGRESS, FIRE
DEPARTMENT ACCESS, SMOKE DETECTORS, FUEL MODIFICATION, ETC.)

9. **ADDITIONAL REQUIRED GFD INSPECTIONS:** FOR INSPECTIONS, CALL
818-548-4810. FIRE DEPARTMENT INSPECTIONS FOR THIS PROJECT ARE: FIRE
PREVENTION BUREAU FINAL (ADDRESS SIGNS, EGRESS, FIRE DEPARTMENT
ACCESS, SMOKE DETECTORS).


GENERAL NOTES

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, GRADES, EXISTING
STRUCTURES, AND FIELD CONDITIONS AT THE SITE, BEFORE COMMENCING WORK.
HE SHALL IMMEDIATELY NOTIFY THE DESIGNER AND/OR OWNER.

TYPICAL DETAILS SHALL APPLY IN GENERAL CONSTRUCTION. WHERE NO DETAILS
ARE GIVEN, THE CONSTRUCTION SHALL BE AS FOR SIMILAR WORK. OMISSIONS AND/
OR CONFLICTS AMONG THE VARIOUS ELEMENTS OF THE DRAWINGS, NOTES,
SPECIFICATIONS, EXISTING STRUCTURES, AND/ OR FIELD CONDITIONS, SHALL BE
BROUGHT TO THE ATTENTION OF THE DESIGNER, BEFORE PROCEEDING WITH THE
WORK SO INVOLVED.

CONSTRUCTION WORK SHALL NOT CREATE DUST, DIRT, OR OTHER SUCH
INCONVENIENCES TO THE OTHER TENANTS.

CONSTRUCTION OPERATION SHALL NOT BLOCK WALKWAYS, OR OTHER MEANS OF
EGRESS.

REVISIONS:	
	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888-424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

COVER SHEET & SITE PLAN

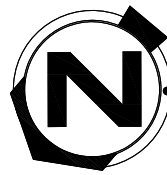
AIVAZIAN RESIDENCE

924 OLD PHILLIPS DR., GLENDALE 91207

DATE:	05/2020
DRAWN BY:	NRK
JOB NO.	20028

SHEET NO.

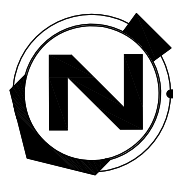
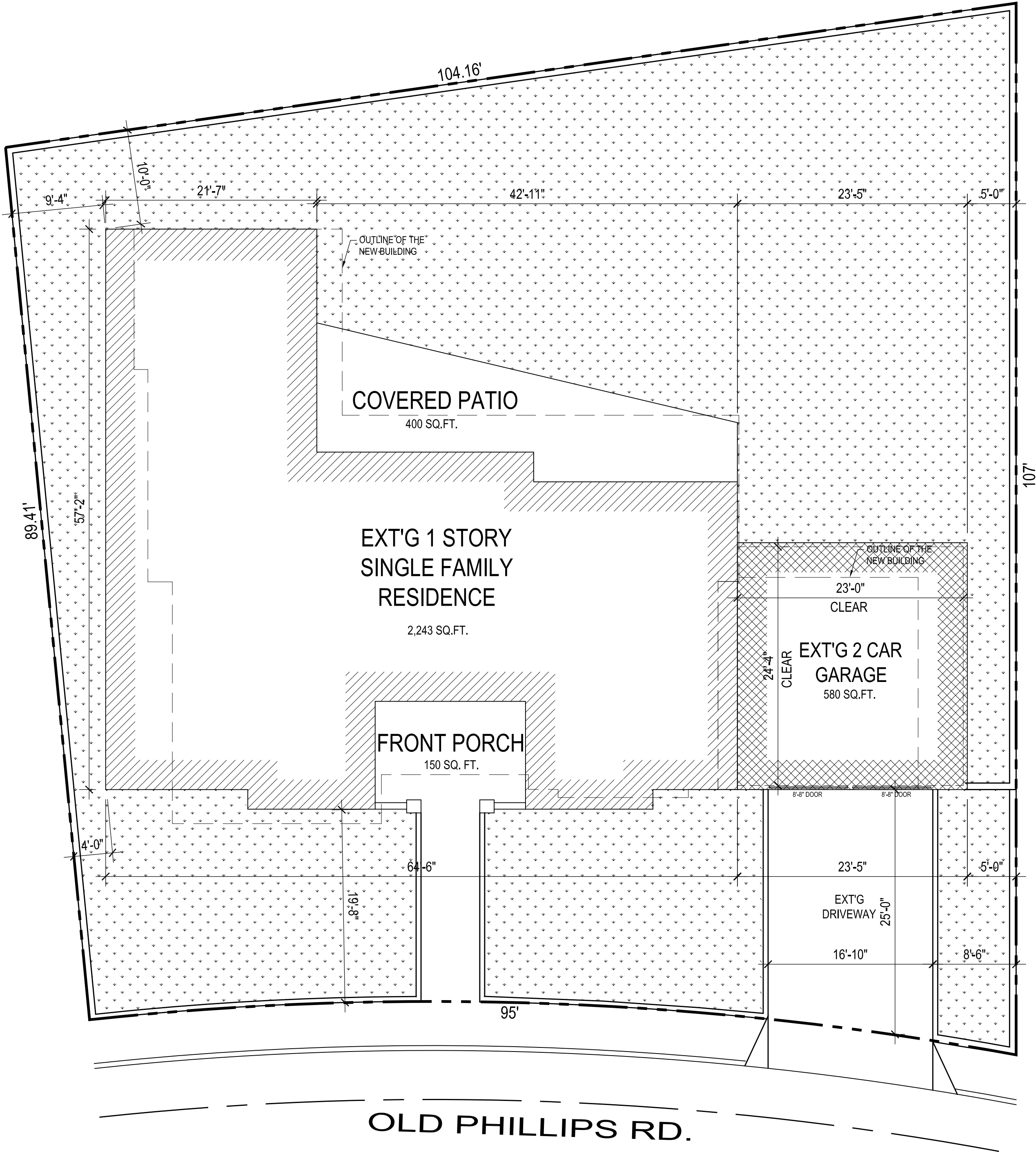
A0.1



PROPOSED SITE PLAN AND ROOF PLAN

SCALE : 1/8" = 1'-0"

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.



EXT'G SITE PLAN
SCALE : 1/8" = 1'-0"

SITE PLAN LEGEND	
	EXT'G RESIDENCE
	EXT'G GARAGE
	EXT'G LANDSCAPING

PROJECT FLOOR PLAN AREA & DATA		
LOT AREA	9,250± SQ. FT.	
EXT'G RESIDENCE	2,243 SQ. FT.	
EXT'G 2 CAR GARAGE	580 SQ. FT.	
EXT'G FRONT PORCH	150 SQ. FT.	
EXT'G COVERED PATIO	400 SQ. FT.	
TOTAL LIVING AREA	2,243 SQ. FT.	
FLOOR AREA RATIO	TOTAL LIVING AREA : 2,243 SQ. FT.	24 %
MAX. 40%	LOT AREA (9,250 SQ. FT.)	
TOTAL MAX. - 3,710 SQ. FT.		
LOT COVERAGE RATIO	LOT COVERAGE (3,373 SQ. FT.)	37 %
MAX. 40% - 3,700 SQ. FT.	LOT AREA (9,250 SQ. FT.)	
LANDSCAPE RATIO	LANDSCAPED AREA (4,980 SQ. FT.)	54 %
MIN. 40% - 3,700 SQ. FT.	LOT AREA (9,250 SQ. FT.)	

REVISIONS:	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888.424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

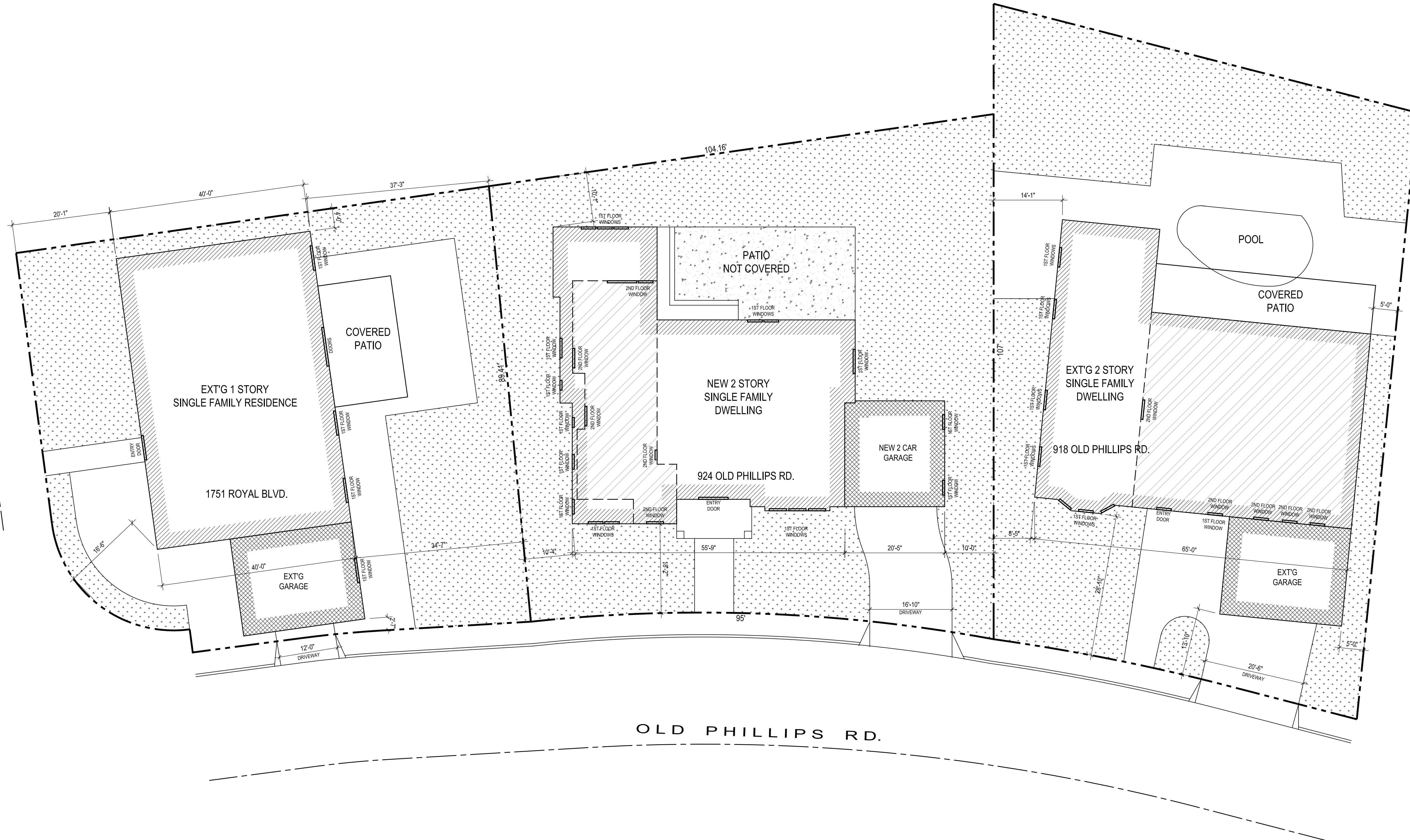
EXT'G SITE PLAN





AIVAZIAN RESIDENCE
924 OLD PHILLIPS DR., GLENDALE 91207

DATE:	05/2020
DRAWN BY:	NRK
JOB NO.	20028

SHEET NO.
A1.1

ROYAL BLVD.



- | | |
|---|-------------------------------------|
|  | SINGLE FAMILY RESIDENCE (1ST FLOOR) |
|  | SINGLE FAMILY RESIDENCE (2ND FLOOR) |
|  | EXT'G LANDSCAPING |
|  | GARAGE |

NEIGHBORING PROPERTIES

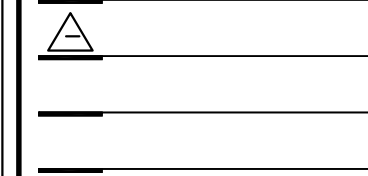
AIVAZIAN RESIDENCE

924 OLD PHILLIPS DR., GLENDALE 91207

designNRK
residential +
commercial
design

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888.424.8125 f.
www.designNRK.com
info@designNRK.com

REVISIONS



DATE: 05/2020

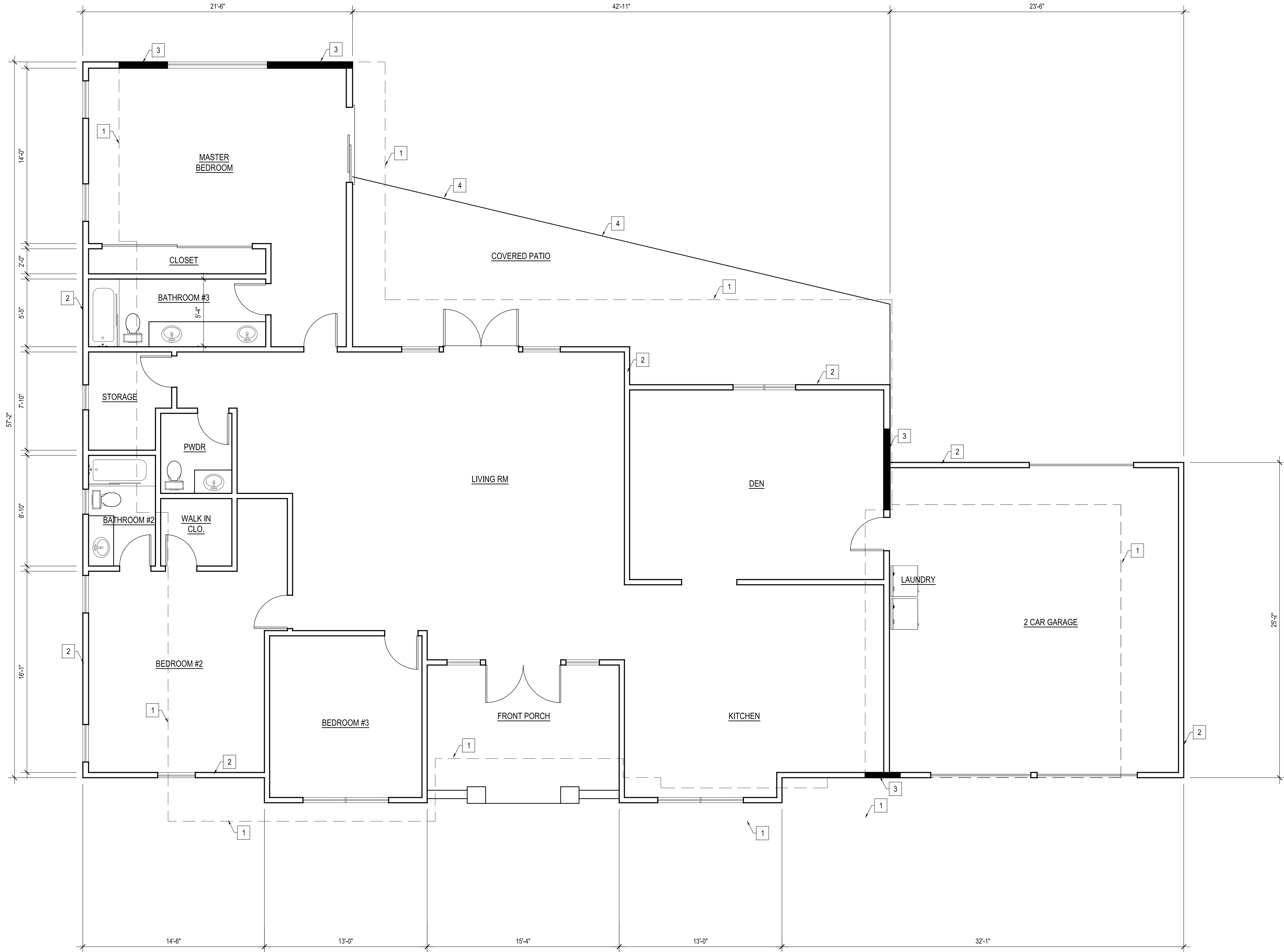
DRAWN BY: NRK

JOB NO.	20028
---------	-------

SHEET NO.

A1.2

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.



FLOOR PLAN KEYED NOTES :

1. OUTLINE OF THE NEW S.F.D.
2. EXT'G WALLS TO BE DEMOLISHED
3. EXT'G WALLS TO REMAIN
4. EXT'G COVERED PATIO LINE

WALL / SYMBOL LEGEND

- EXT'G WALLS TO BE DEMOLISHED
— EXT'G WALLS TO REMAIN

MORE THAN 50% OF THE EXISTING HOUSE
TO BE DEMOLISHED

REVISIONS:	
△	
—	
—	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888.424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

EXT'G FLOOR PLAN

AIVAZIAN RESIDENCE

924 OLD PHILLIPS RD. GLENDALE 91207

DATE:	05/2020
DRAWN BY:	NRK
JOB NO.	20028

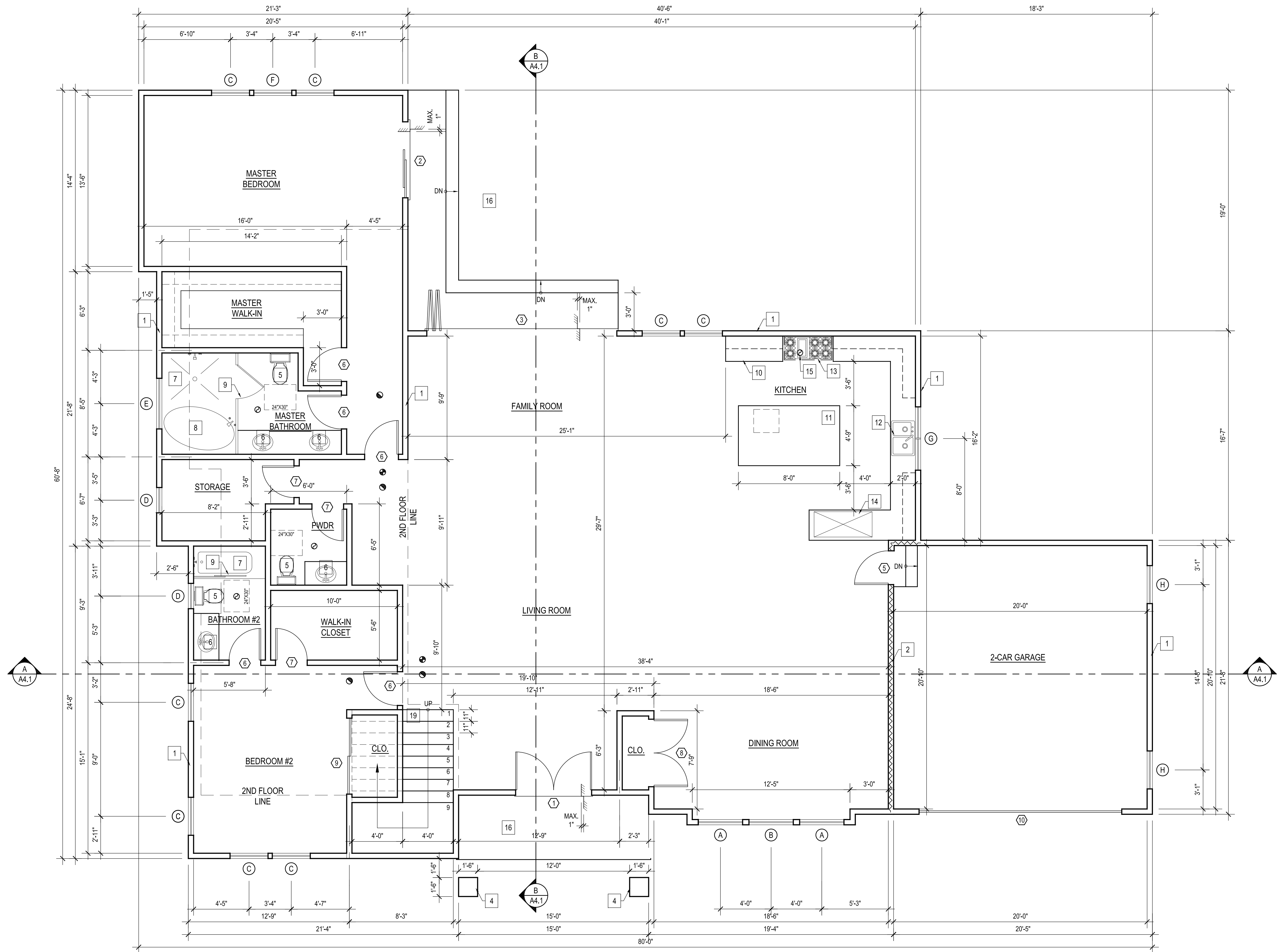
SHEET NO.

A2.0

EXT'G RESIDENCE FLOOR PLAN

SCALE : 1/4" = 1'-0"

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.



PROPOSED FIRST FLOOR PLAN

SCALE : 1/4" = 1'-0"

FLOOR PLAN KEYED NOTES :
(S.B.O.) SELECTED BY OWNER OR CONTRACTOR

1. NEW WALLS
2. 1-HOUR FIRE RATED WALL
3. LOW WALL - 42" MIN. HT.
4. NEW COLUMN
5. NEW TOILET (S.B.O.)
6. NEW SINK (S.B.O.)
7. NEW TUB OR SHOWER (TILE TO CEILING)
8. NEW FREESTANDING TUB
9. CATEGORY II (TEMPERED GLASS) SHOWER DOOR & ENCL.FRAMELESS & SLIDER
10. NEW BASE AND UPPER CABINETS
11. NEW ISLAND-STONE TILE COUNTERTOP (S.B.O.)
12. NEW DOUBLE SINK
13. NEW RANGE
14. NEW REFRIGERATOR
15. RANGE EXHAUST FAN (S.B.O.) MIN. 100 CFM
16. NEW CONC. LANDING MIN. WITH STEPS
17. NEW GUARDRAIL - 42" MIN. HT.
18. NEW WASHER AND DRYER
19. NEW STAIRCASE

WALL / SYMBOL LEGEND

- NEW WALL
- FIRE-RATED WALL - WITH 5/8" TYPE 'X' GYP BOARD ON THE GARAGE SIDE
- EXHAUST FAN CAPABLE OF PROVIDING 5 COMPLETE AIR CHANGES PER HOUR - 50 CFM
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR SHALL BE INTERCONNECTED HARD-WIRED W/ BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
- GFCI - GROUND FAULT CIRCUIT INTERRUPTER
- CEILING HEIGHTS
- WATER CLOSET CLEARANCE

WATER FIXTURE

ON AND AFTER JANUARY 1, 2014, RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS, OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANCE PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION BY BUILDING DEPARTMENT. SEE CIVIL CODE SECTION 1101.1

NON-COMPLIANT PLUMBING FIXTURES ARE DEFINED AS:

A) ANY TOILET MANUFACTURED TO USE MORE THAN 1.6 GALLONS PER FLUSH.

B) ANY SHOWER HEAD MANUFACTURED TO FLOW MORE THAN 2.5 GALLONS / MIN.

C) ANY INTERIOR FAUCET MANUFACTURED TO FLOW MORE THAN 2.2 GALLONS / MIN.

ALL WATER FIXTURES TO BE LOW FLOW

REVISIONS:	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888-424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

PROPOSED FIRST FLOOR PLAN

AIVAZIAN RESIDENCE

924 OLD PHILLIPS RD. GLENDALE 91207

DATE:	05/2020
DRAWN BY:	NRK
JOB NO.	20028

SHEET NO.

A2.1

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.

WINDOW SCHEDULE																									
MARK	NO. OF UNIT	EXTG SIZE		PROPOSED SIZE		EXT'G MATERIAL	NEW MATERIAL	EXT'G OPERATION	NEW OPERATION	NEW FRAME TYPE	GLAZE		BEDROOM Y/N	COLOR	VISIBLE FROM THE STREET Y/N	EXTERNAL GRID (SDL) Y/N	KEEP EXISTING SILL & FRAME Y/N	BUILD NEW SILL & FRAME Y/N	EXT'G EDGE DETAIL Y/N	NEW EDGE DETAIL	FIRE HAZARD ZONE Y/N	WINDOW W/IN 18" OF FLOOR OR 40" OF DOOR Y/N	U-FACTOR	SHGC FACTOR	NOTE ALL WINDOWS TO BE RECESSED. SEE DETAIL 1
		WIDTH	HEIGHT	WIDTH	HEIGHT						DUAL	TEMP													
(A)	2	—	—	3'-6"	6'-0"	—	FIBERGLASS	—	CASEMENT	NAIL ON	●	●	NO	BLACK	YES	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(B)	1	—	—	3'-6"	6'-0"	—	FIBERGLASS	—	FIXED	NAIL ON	●	●	NO	BLACK	YES	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(C)	8	—	—	3'-0"	5'-0"	—	FIBERGLASS	—	CASEMENT	NAIL ON	●	●	YES	BLACK	YES / NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(D)	2	—	—	2'-0"	3'-0"	—	FIBERGLASS	—	CASEMENT	NAIL ON	●	●	NO	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	OBSCURED GLASS IN BATHROOM
(E)	3	—	—	4'-0"	1'-6"	—	FIBERGLASS	—	AWNING	NAIL ON	●	●	NO	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(F)	1	—	—	3'-0"	5'-0"	—	FIBERGLASS	—	FIXED	NAIL ON	●	●	YES	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(G)	1	—	—	5'-0"	3'-0"	—	FIBERGLASS	—	SLIDER	NAIL ON	●	●	NO	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(H)	3	—	—	3'-0"	4'-0"	—	FIBERGLASS	—	CASEMENT	NAIL ON	●	●	YES/NO	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(J)	2	—	—	3'-6"	5'-0"	—	FIBERGLASS	—	FIXED	NAIL ON	●	●	NO	BLACK	YES	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(K)	1	—	—	2'-0"	2'-6"	—	FIBERGLASS	—	CASEMENT	NAIL ON	●	●	NO	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(L)	1	—	—	5'-0"	4'-0"	—	FIBERGLASS	—	FIXD	NAIL ON	●	●	YES	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	

DOOR SCHEDULE									
MARK	NO. OF UNIT	DOOR						NOTES	
		SIZE			GLAZE		FINISH		
		WD	HGT	THK	DUAL	TEMP			
(1)	1	6'-0"	9'-0"	1 3/4"		●	PAINTED	ENTRY DOOR - DOUBLE WOOD DOORS	
(2)	1	6'-0"	8'-0"	1 3/4"		●	PAINTED	EXTERIOR SLIDING DOOR	
(3)	1	15'-0"	8'-0"	1 3/4"		●	PAINTED	EXTERIOR FOLDING DOOR	
(4)	2	6'-0"	6'-8"	1 3/4"		●	PAINTED	FRENCH DOORS	
(5)	1	2'-8"	6'-8"	1 3/8"			PAINTED	20-MIN FIRE RATED, SELF LATCHING, SELF CLOSING	
(6)	10	2'-8"	6'-8"	1 3/8"			PAINTED	INTERIOR DOOR	
(7)	3	2'-6"	6'-8"	1 3/8"			PAINTED	INTERIOR DOOR	
(8)	1	5'-4"	6'-8"	1 3/8"			PAINTED	INTERIOR DOOR	
(9)	1	6'-0"	6'-8"	1 3/8"			PAINTED	SLIDING CLOSET DOOR	
(10)	1	16'-0"	8'-0"	1 3/4"		●	PAINTED	GARAGE DOOR	

WINDOW NOTES :

EXTERIOR GLAZING SHALL BE MULTI-PANE UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS OR MINIMUM 20-MIN. RATED PER. TITLE-24 CALCULATIONS - ALL GLAZING TO HAVE NON-METAL FRAMES. PER. TITLE-24 - ALL GLAZING WILL HAVE EXTERIOR SHADING DEVICES, VIA BUG SCREENS PER. SHGC IN THE CALCULATIONS.

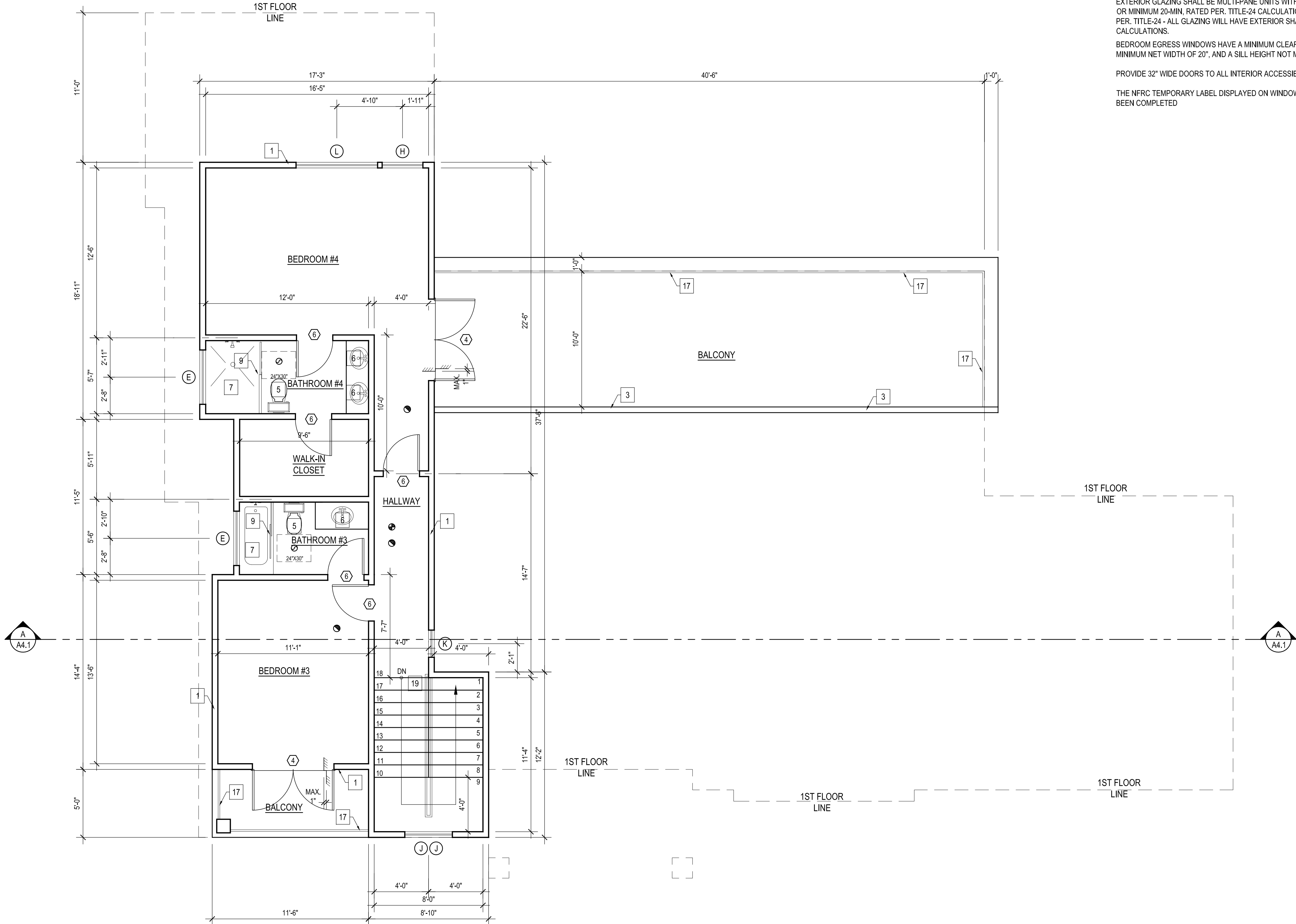
BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.7 s.f., A MINIMUM NET HEIGHT OF 24" AND MINIMUM NET WIDTH OF 20", AND A SILL HEIGHT NOT MORE THAN 44" MAXIMUM ABOVE THE FINISH FLOOR.

PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS. (6304.1)

THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL THE FINAL INSPECTION HAS BEEN COMPLETED

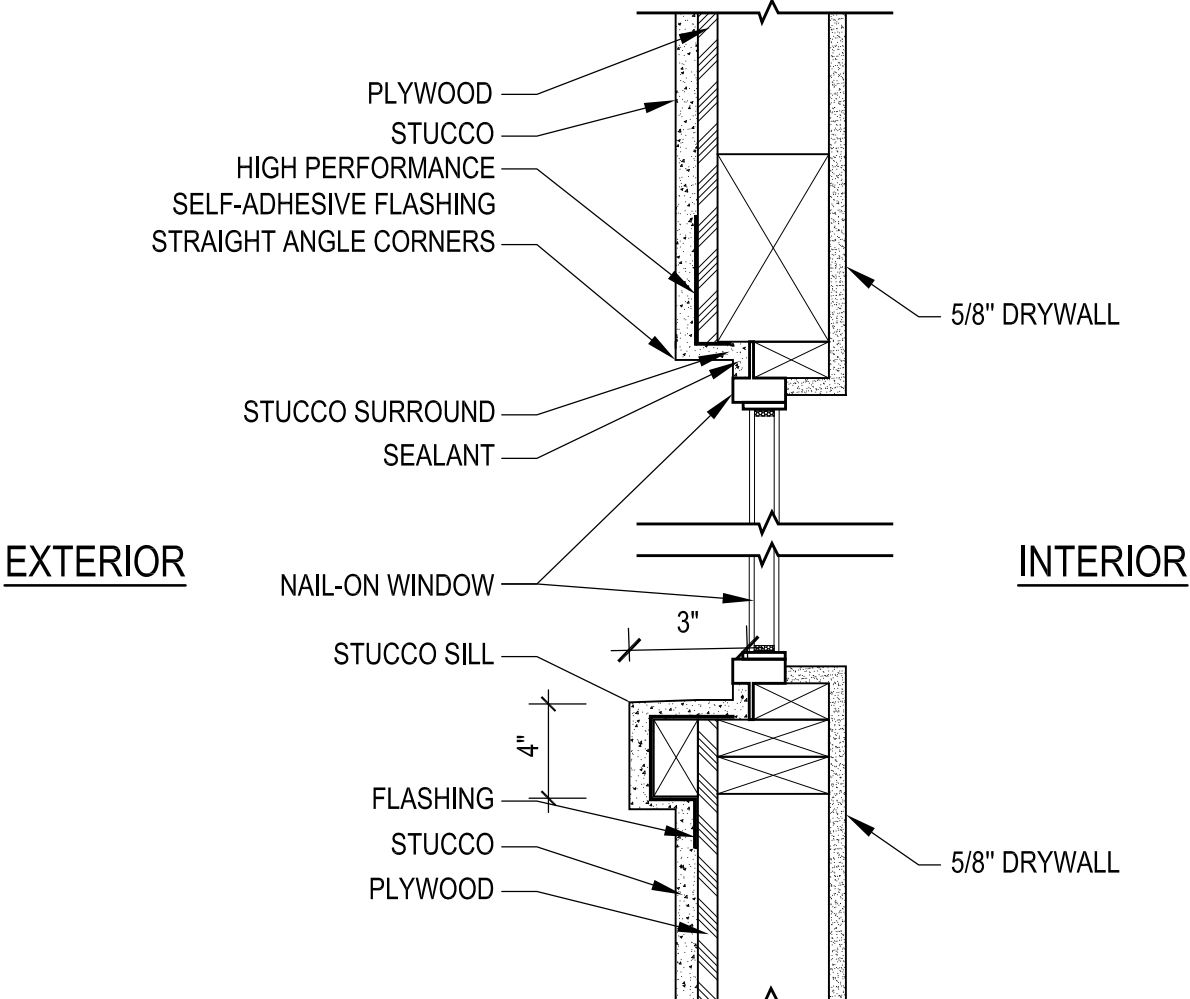
FLOOR PLAN KEYED NOTES :
(S.B.O.) SELECTED BY OWNER OR CONTRACTOR

- NEW WALLS
- 1-HOUR FIRE RATED WALL
- LOW WALL - 42" MIN. HT.
- NEW COLUMN
- NEW TOILET (S.B.O.)
- NEW SINK (S.B.O.)
- NEW TUB OR SHOWER (TILE TO CEILING)
- NEW FREESTANDING TUB
- CATEGORY II (TEMPERED GLASS) SHOWER DOOR & ENCL.FRAMELESS & SLIDER
- NEW BASE AND UPPER CABINETS
- NEW ISLAND-STONE TILE COUNTERTOP (S.B.O.)
- NEW DOUBLE SINK
- NEW RANGE
- NEW REFRIGERATOR
- RANGE EXHAUST FAN (S.B.O.) MIN. 100 CFM
- NEW CONC. LANDING MIN. WITH STEPS
- NEW GUARDRAIL - 42" MIN. HT.
- NEW WASHER AND DRYER
- NEW STAIRCASE



PROPOSED SECOND FLOOR PLAN

SCALE : 1/4" = 1'-0"



WINDOW DETAIL - 1

SCALE : NTS

REVISIONS:	

213 n. orange st. ste. e
glendale, ca 91203
818.823.7286 o.
888.424.8125 f.
www.designNRK.com
info@designNRK.com

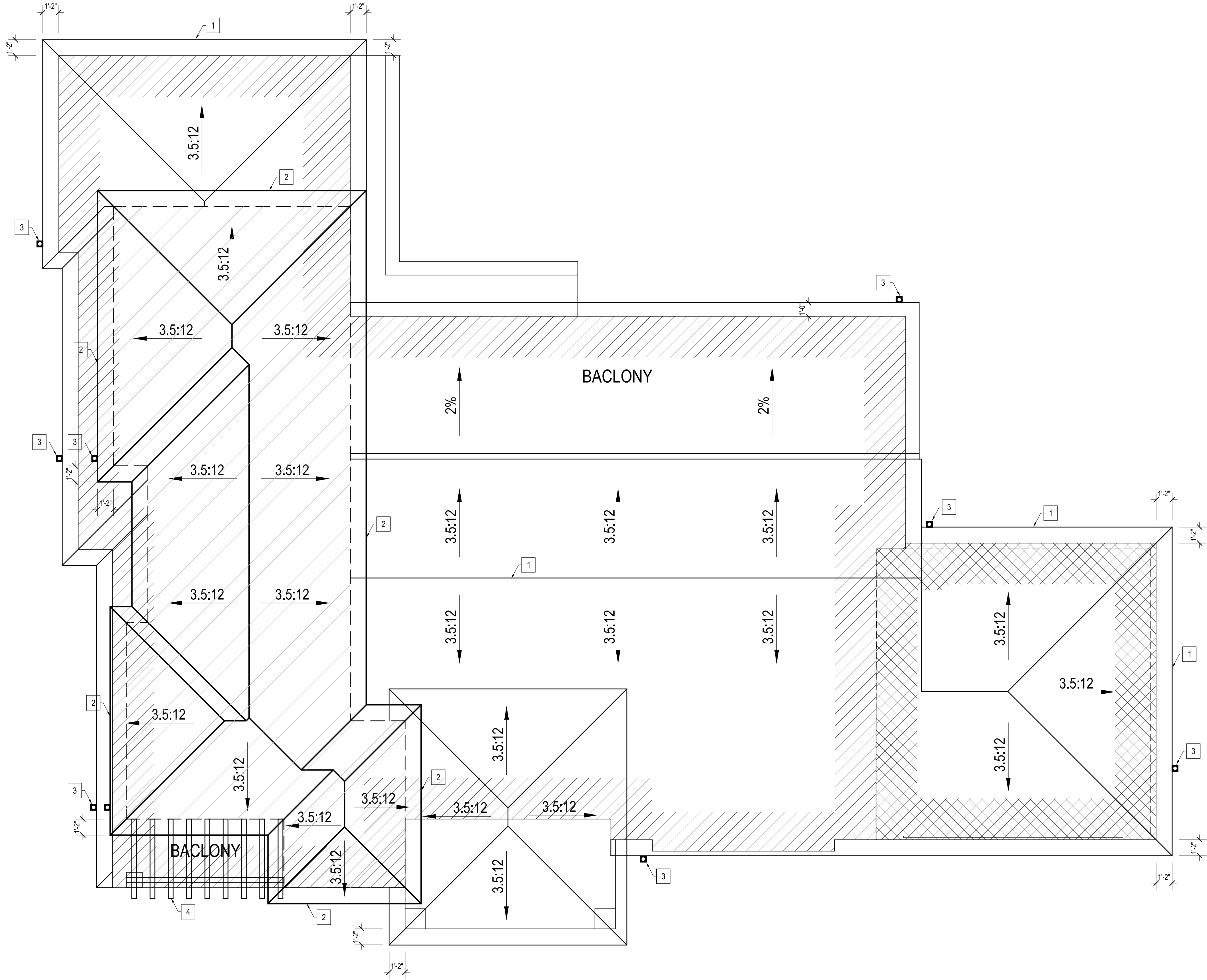
designNRK
residential +
commercial
design

PROPOSED SECOND FLOOR PLAN
AIVAZIAN RESIDENCE
924 OLD PHILLIPS RD. GLENDALE 91207

DATE: 05/2020
DRAWN BY: NRK
JOB NO. 20028

SHEET NO.
A2.2

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.



FLOOR PLAN KEYED NOTES :

1. FIRST FLOOR ROOF
2. SECOND FLOOR ROOF
3. DOWNSPOUT
4. TRELLIS

REVISIONS:	
Δ	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888-424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

PROPOSED ROOF PLAN

AIVAZIAN RESIDENCE

924 OLD PHILLIPS RD. GLENDALE 91207

DATE:	05/2020
DRAWN BY:	NRK
JOB NO.	20028

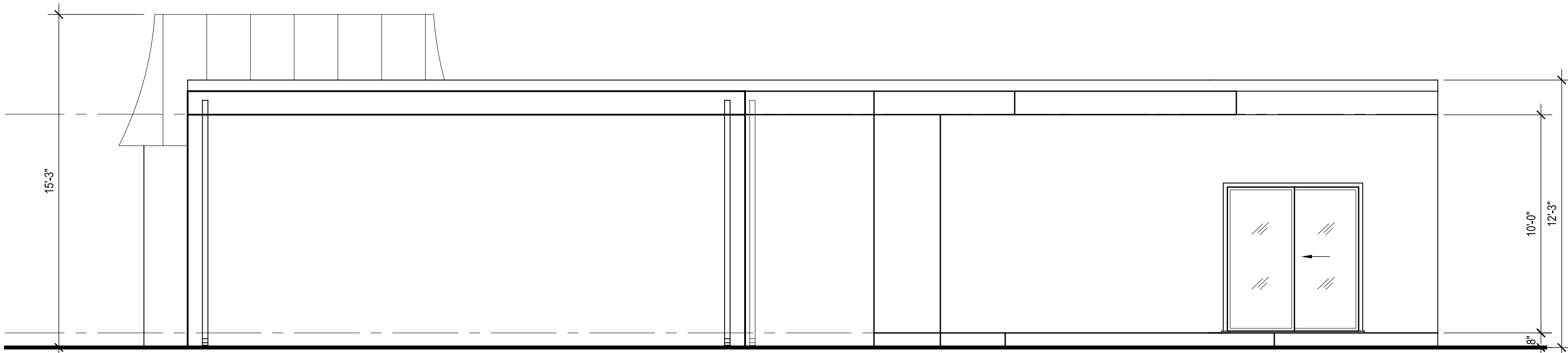
SHEET NO.
A2.3

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.



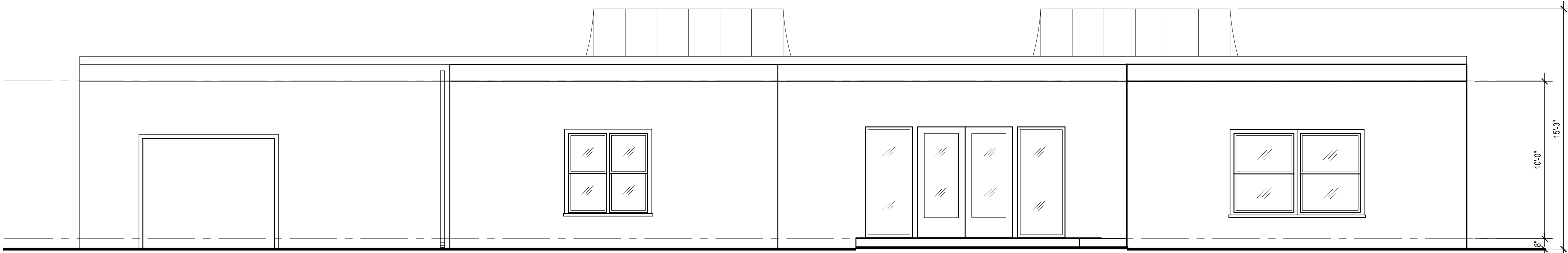
NORTH ELEVATION

SCALE : 1/4" = 1'-0"



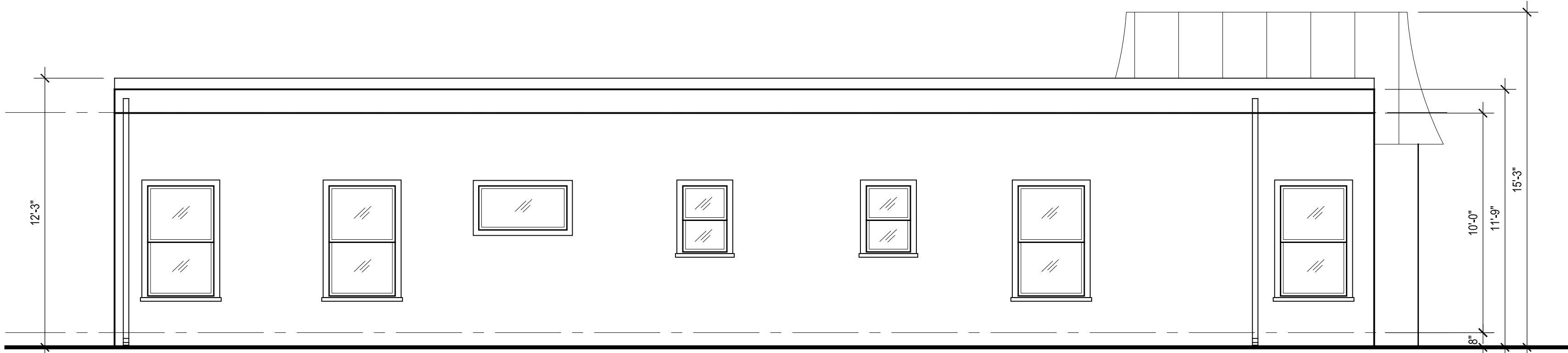
WEST ELEVATION

SCALE : 1/4" = 1'-0"



SOUTH ELEVATION

SCALE : 1/4" = 1'-0"



EAST ELEVATION

SCALE : 1/4" = 1'-0"

REVISIONS:	
1	
2	
3	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888.424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

EXT'G ELEVATIONS

AIVAZIAN RESIDENCE

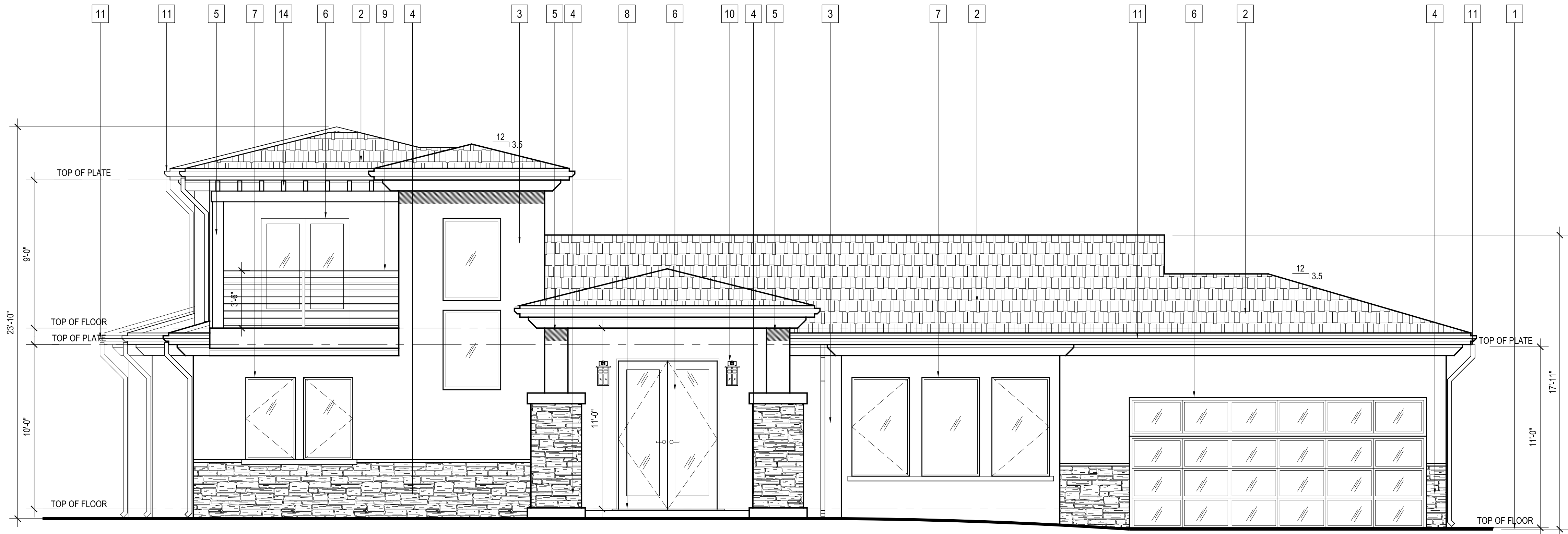
924 OLD PHILLIPS RD. GLENDALE, CA 91207

DATE:	04/2020
DRAWN BY:	NRK
JOB NO.	20028

SHEET NO.

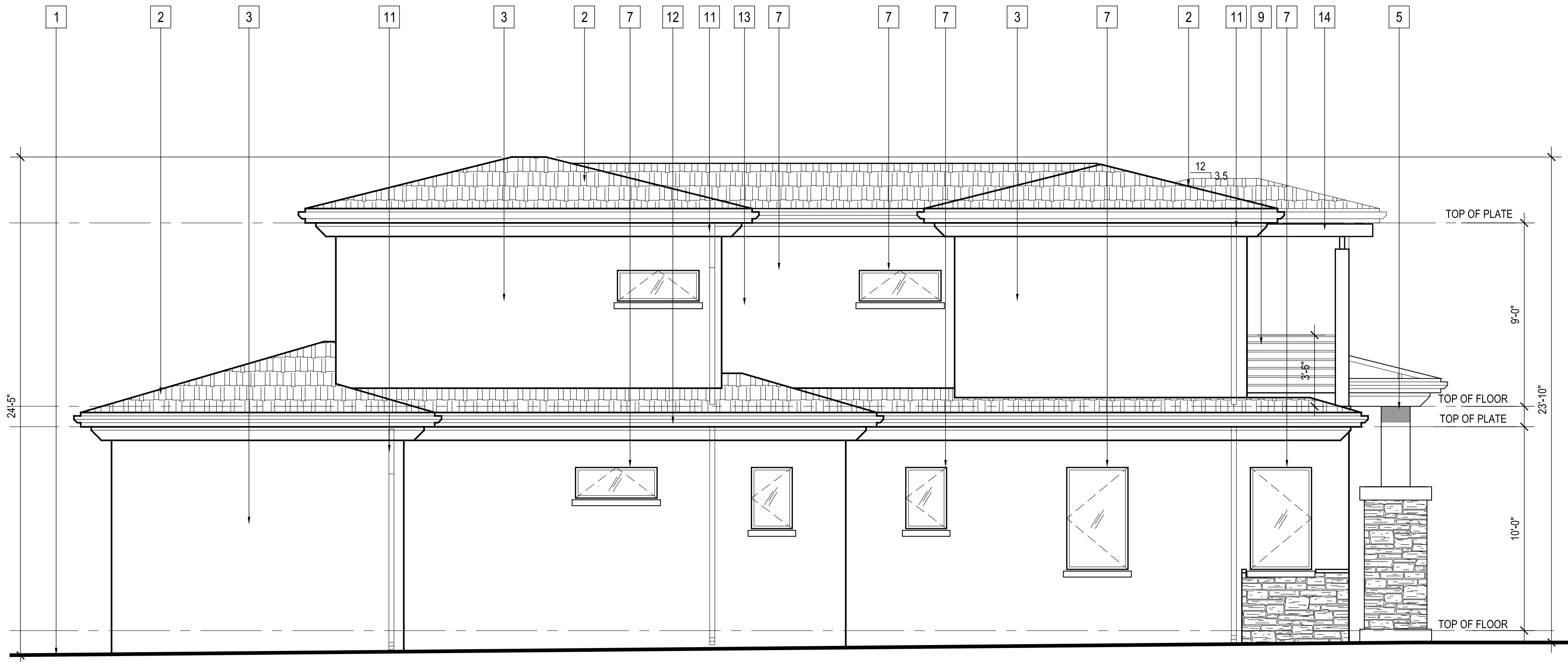
A3.0

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.



FRONT (NORTH) ELEVATION

SCALE : 1/4" = 1'-0"



EAST ELEVATION

SCALE : 1/4" = 1'-0"

ELEVATION KEYED NOTES

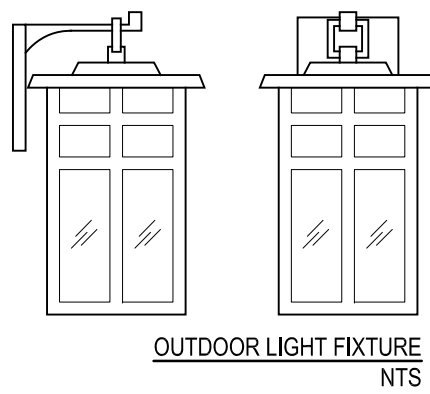
- EXT'G GRADE
- NEW CLASS 'A' ROOFING
LIGHT WEIGHT CONCRETE
- NEW 7/8" SMOOTH STUCCO
- STONE VENEER
- NEW COLUMN
- NEW DOOR (SEE SCHEDULE)
- NEW WINDOW (SEE SCHEDULE)
- NEW CONC. LANDING (WITH STEPS)
- NEW RAILING 42" MIN. HT.
- LIGHT FIXTURE
- DOWNSPOUT
- STUCCO BAND
- NEW CONC. WINDOW SILL 1-1/2" x 3"
- NEW TRELLIS

REVISIONS:	
1	
2	
3	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888-424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

LIGHT FIXTURE SCHEDULE		
ITEM NUMBER	DESCRIPTION	QUANTITY
1	THOMAS LIGHTING SL91047	9



- . ONE-LIGHT OUTDOOR WALL FIXTURE
- . BLACK WITH CREAM COLORED GLASS
- . PAINTED BRONZE WITH CLEAR SEEDY GLASS
- . EXTENDS: 7-1/2", HEIGHT FROM CENTER OF OUTLET BOX: 3-1/2"
- . FEATURES THOMAS LIGHTINGS EXCLUSIVE "EASY HANGER" SYSTEM
- . 1 100w MAX MEDIUM BASE
- . BACK PLATE MEASURE 4 1/4" W x 5 5/8" H

ELEVATIONS

AIVAZIAN RESIDENCE

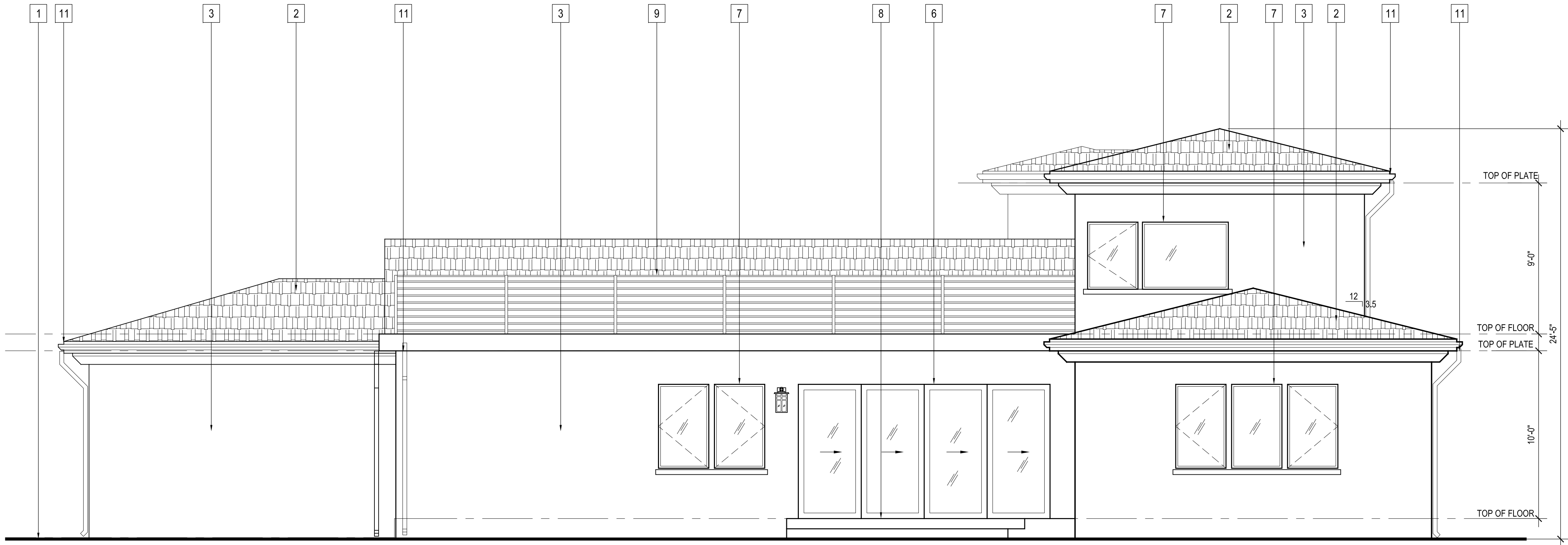
924 OLD PHILLIPS RD. GLENDALE, CA 91207

DATE:	04/2020
DRAWN BY:	NRK
JOB NO.	20028

SHEET NO.

A3.1

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.

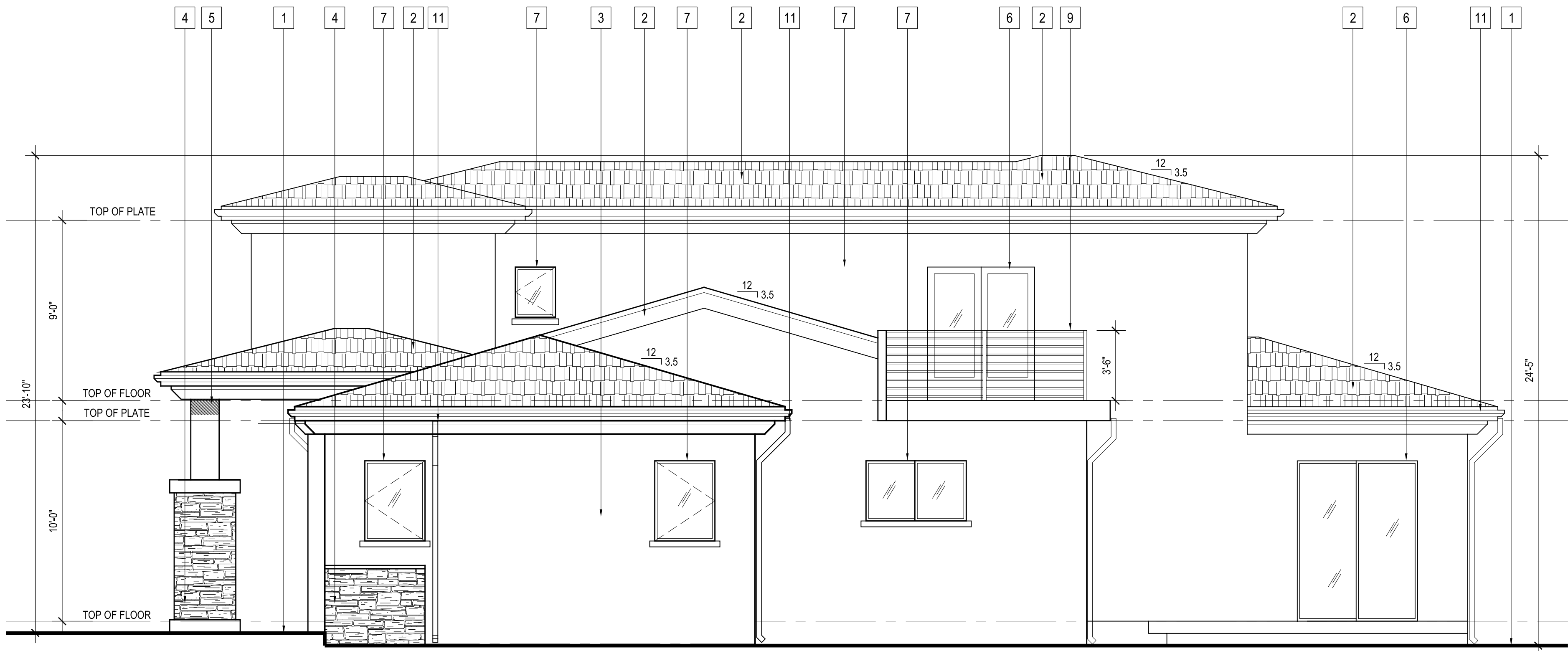


REAR (SOUTH) ELEVATION

SCALE : 1/4" = 1'-0"

ELEVATION KEYED NOTES

1. EXT'G GRADE
2. NEW CLASS 'A' ROOFING
LIGHT WEIGHT CONCRETE
3. NEW 7/8" SMOOTH STUCCO
4. STONE VENEER
5. NEW COLUMN
6. NEW DOOR (SEE SCHEDULE)
7. NEW WINDOW (SEE SCHEDULE)
8. NEW CONC. LANDING (WITH STEPS)
9. NEW RAILING 42" MIN. HT.
10. LIGHT FIXTURE
11. DOWNSPOUT
12. STUCCO BAND
13. NEW CONC. WINDOW SILL 1-1/2" x 3"
14. NEW TRELLIS



WEST ELEVATION

SCALE : 1/4" = 1'-0"

REVISIONS:	
1	
2	
3	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888-424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

ELEVATIONS

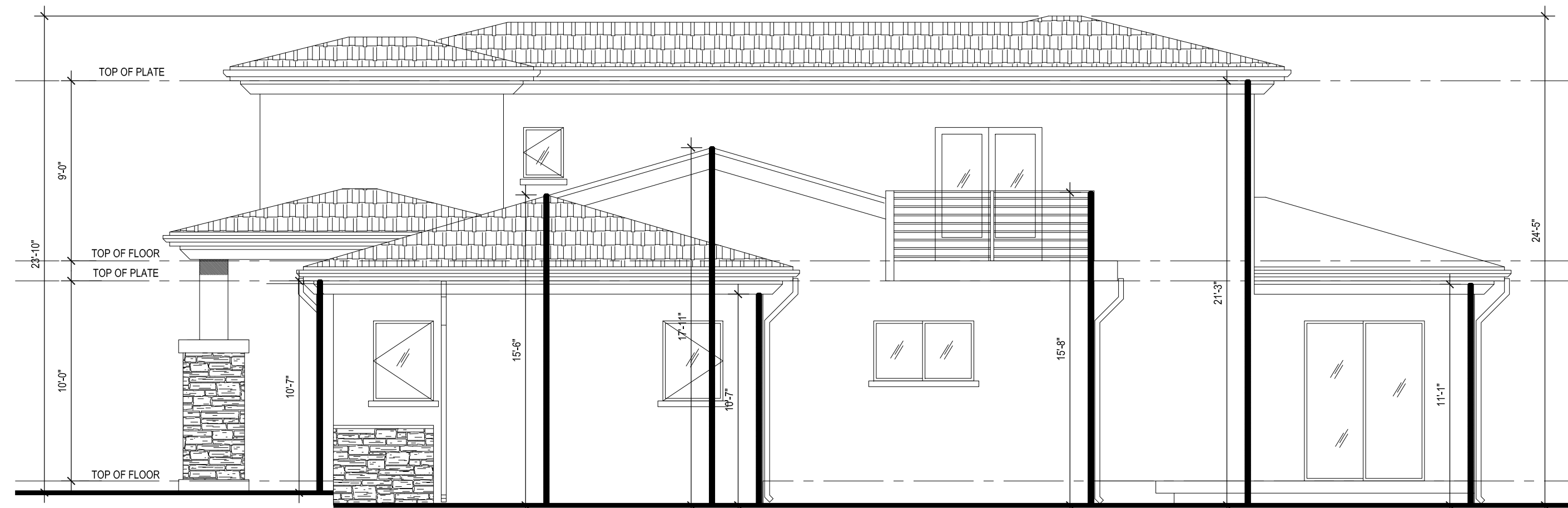
AIVAZIAN RESIDENCE

924 OLD PHILLIPS RD. GLENDALE, CA 91207

DATE:	04/2020
DRAWN BY:	NRK
JOB NO.	20028

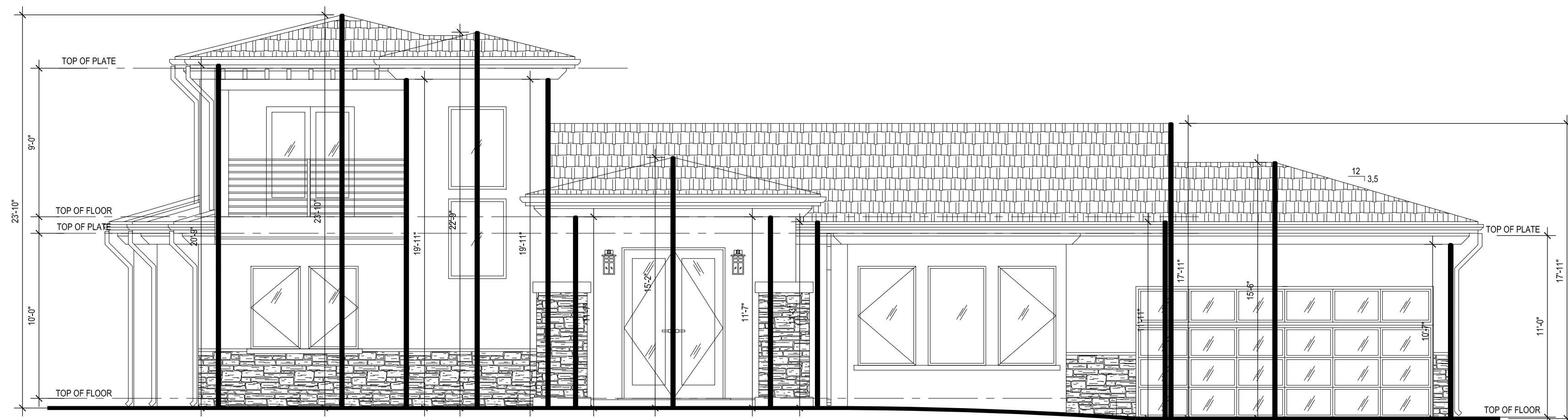
SHEET NO.

A3.2



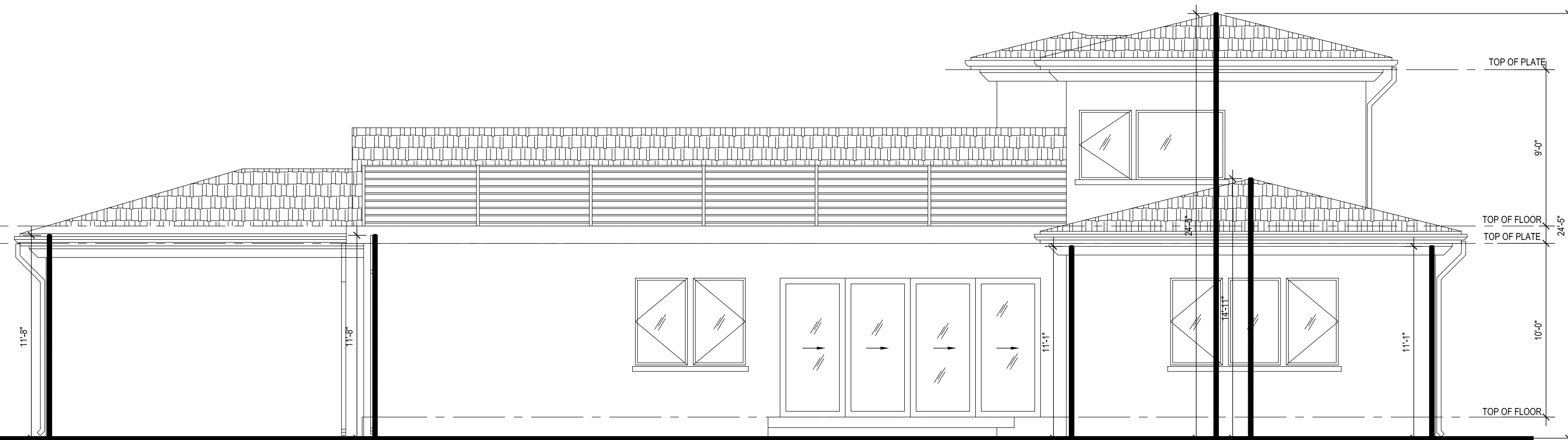
WEST ELEVATION

SCALE : 1/4" = 1'-0"

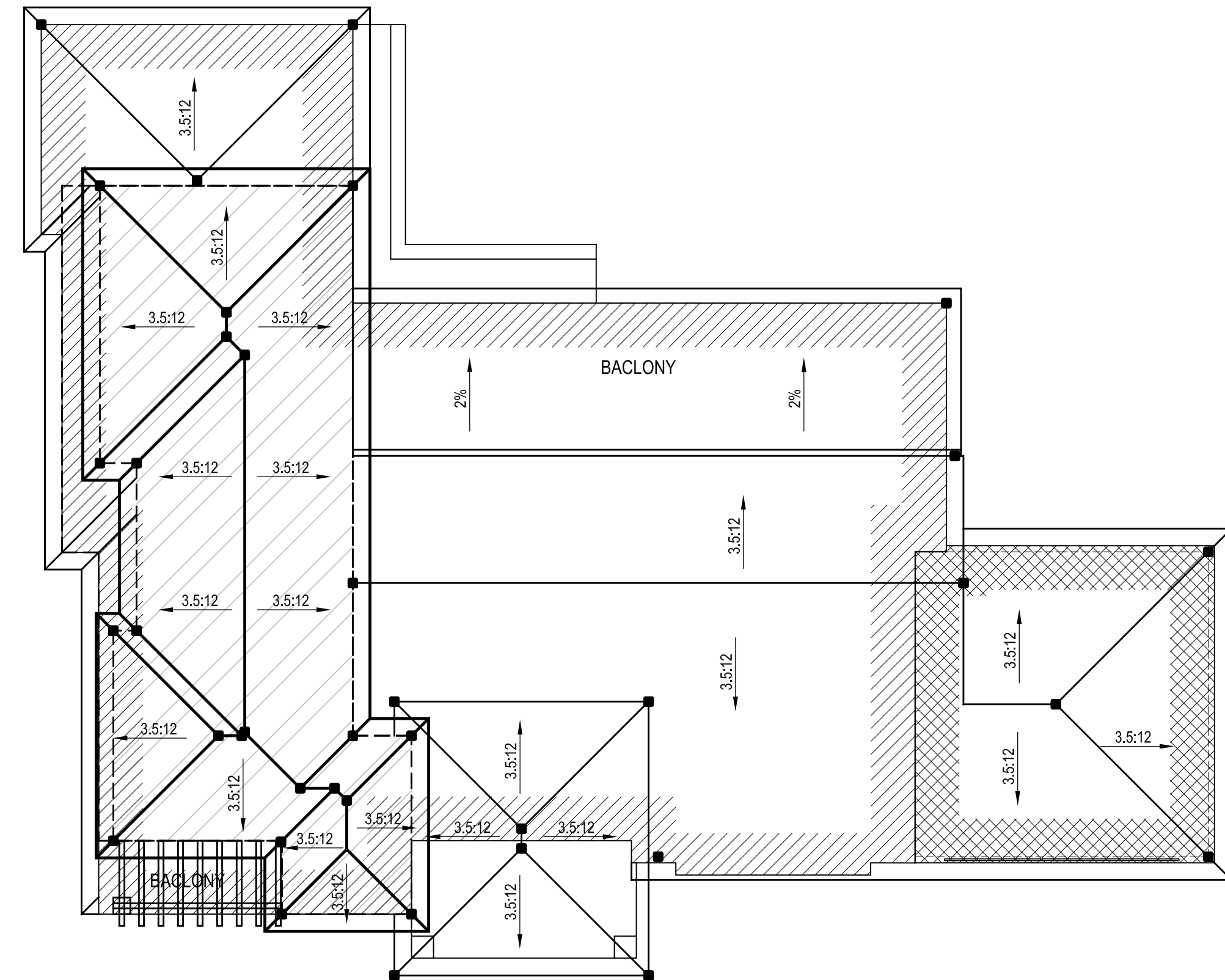


FRONT (NORTH) ELEVATION

SCALE : 3/16" = 1'-0"

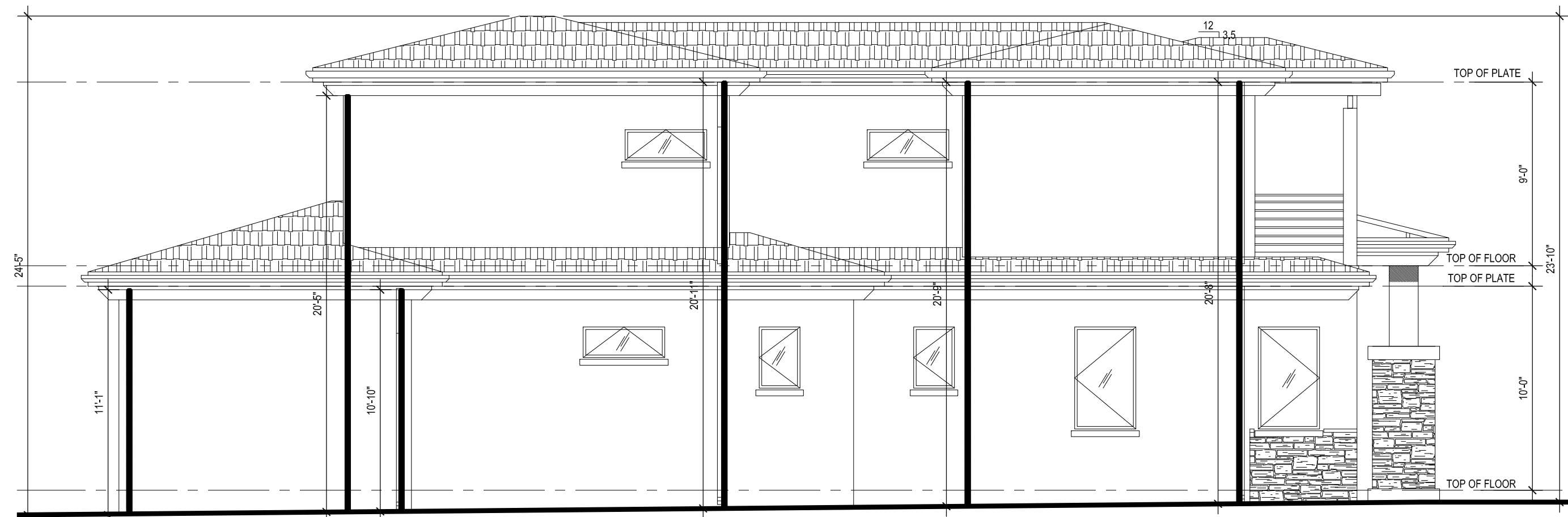


REAR (SOUTH) ELEVATION



ROOF PLAN

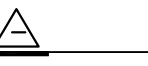
SCALE : 1/8" = 1'-0"



EAST ELEVATION

SCALE : 1/4" = 1'-0"

REVISIONS:



213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888.424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

STOTY POLE PLAN

AIVAZIAN RESIDENCE

924 OLD PHILLIPS RD: GLENDALE, CA 91207

DATE: 04/2020

DRAWN BY: NRK

JOB NO. 20028

SHEET NO.

A3.3

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.



RENDERING

AIVAZIAN RESIDENCE

924 OLD PHILLIPS RD. GLENDALE, CA 91207

DATE: 04/2020
DRAWN BY: NRK
JOB NO. 20028

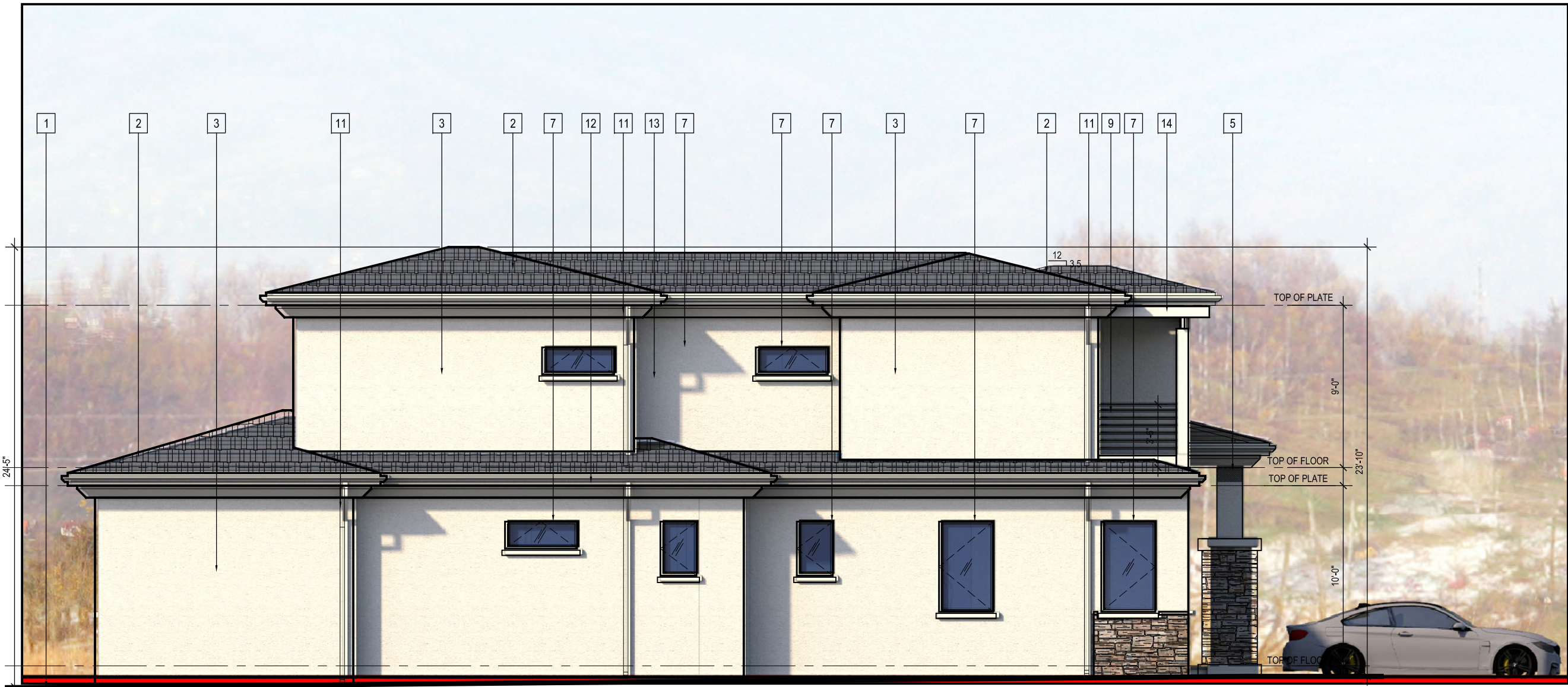
SHEET NO.
A3.4

designNRK
residential +
commercial
design

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 co.
888-424.8125 f.
www.designNRK.com
info@designNRK.com

REVISIONS:
△

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREON WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.



EAST ELEVATION



WEST ELEVATION



REAR (SOUTH) ELEVATION



FRONT (NORTH) ELEVATION

SCALE : 1/4" = 1'-0"

ELEVATION KEYED NOTES

1. EXT'G GRADE
2. NEW CLASS 'A' ROOFING
LIGHT WEIGHT CONCRETE
3. NEW 7/8" SMOOTH STUCCO
4. STONE VENEER
5. NEW COLUMN
6. NEW DOOR (SEE SCHEDULE)
7. NEW WINDOW (SEE SCHEDULE)
8. NEW CONC. LANDING (WITH STEPS)
9. NEW RAILING 42" MIN. HT.
10. LIGHT FIXTURE
11. DOWNSPOUT
12. STUCCO BAND
13. NEW CONC. WINDOW SILL 1-1/2" x 3"
14. NEW TRELLIS

REVISIONS:

Δ	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888-424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

COLORED ELEVATIONS

AIVAZIAN RESIDENCE

924 OLD PHILLIPS RD. GLENDALE, CA 91207

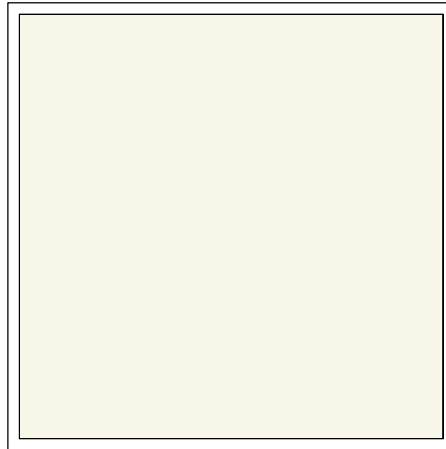
DATE: 04/2020
DRAWN BY: NRK
JOB NO. 20028

SHEET NO.

A3.5



ROOF:
BORAL ROOF CO.
SAXONY 900 SLATE - EBONY



STUCCO:
DUNN EDWARDS
COLOR: SWISS COFFEE



WINDOWS:
MILGARD FIBERGLASS
COLOR: BRONZE



EXTERIOR STONE:
TETON GREY MANUFACTURED STONE
VENEER



RAILING:
WROUGHT IRON
COLOR: PAINTED BLACK



LIGHTING:
MODERN OUTDOOR LIGHTING
DESTINATION LIGHTING
COLOR: PAINTED BLACK

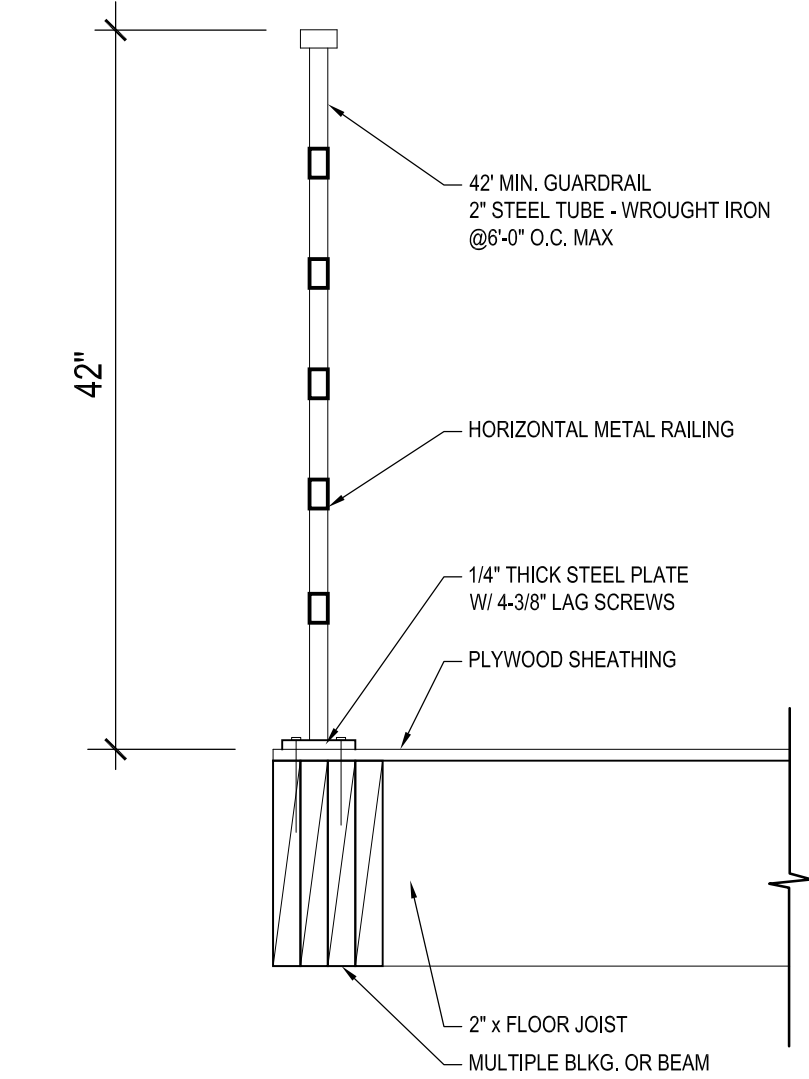


ENTRY DOOR:
STEEL DOOR W/ FROSTED GLASS
COLOR: PAINTED BLACK

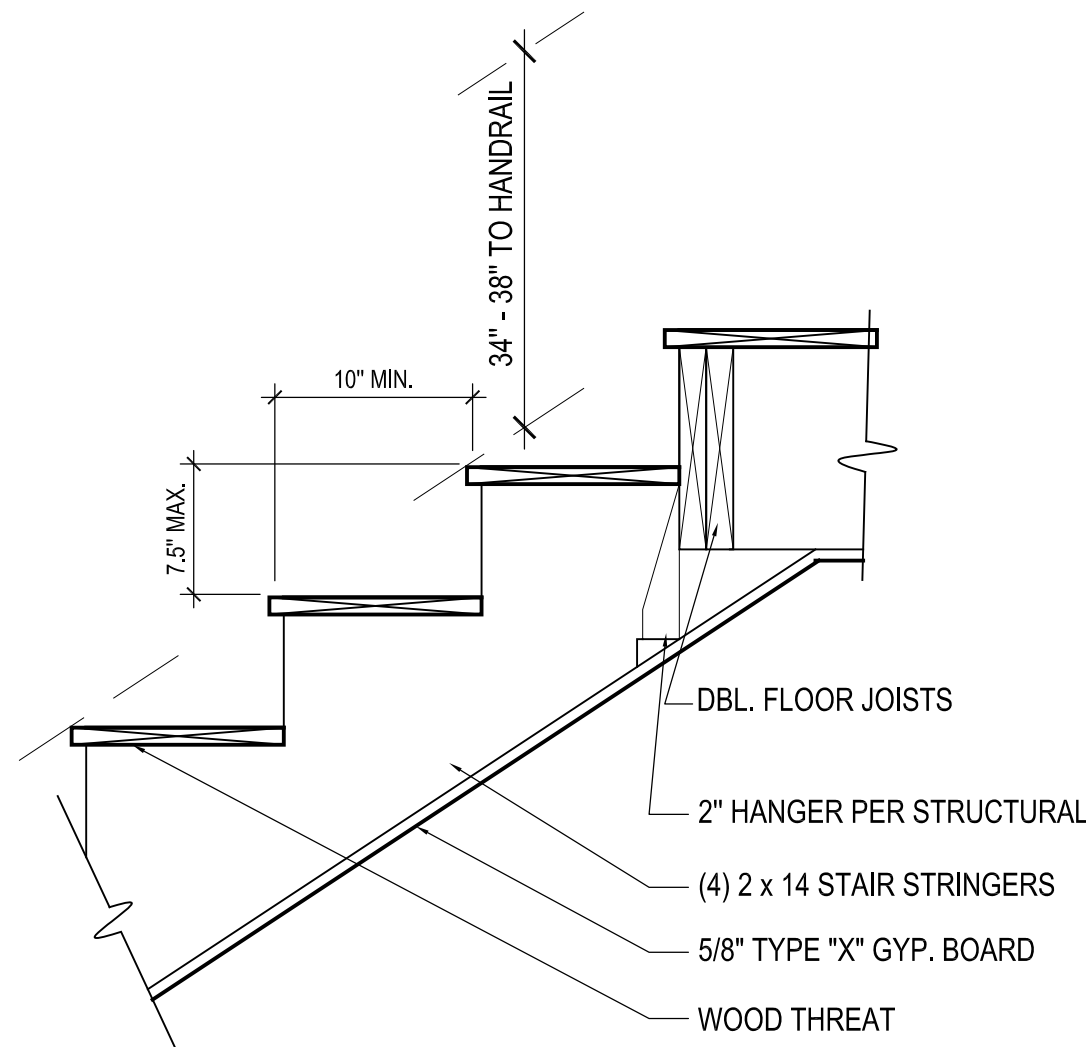
924 OLD PHILLIPS RD.
GLENDALE, CA 91207

DESIGNNRK
213 N. ORANGE ST. STE: E GLENDALE, CA 91203

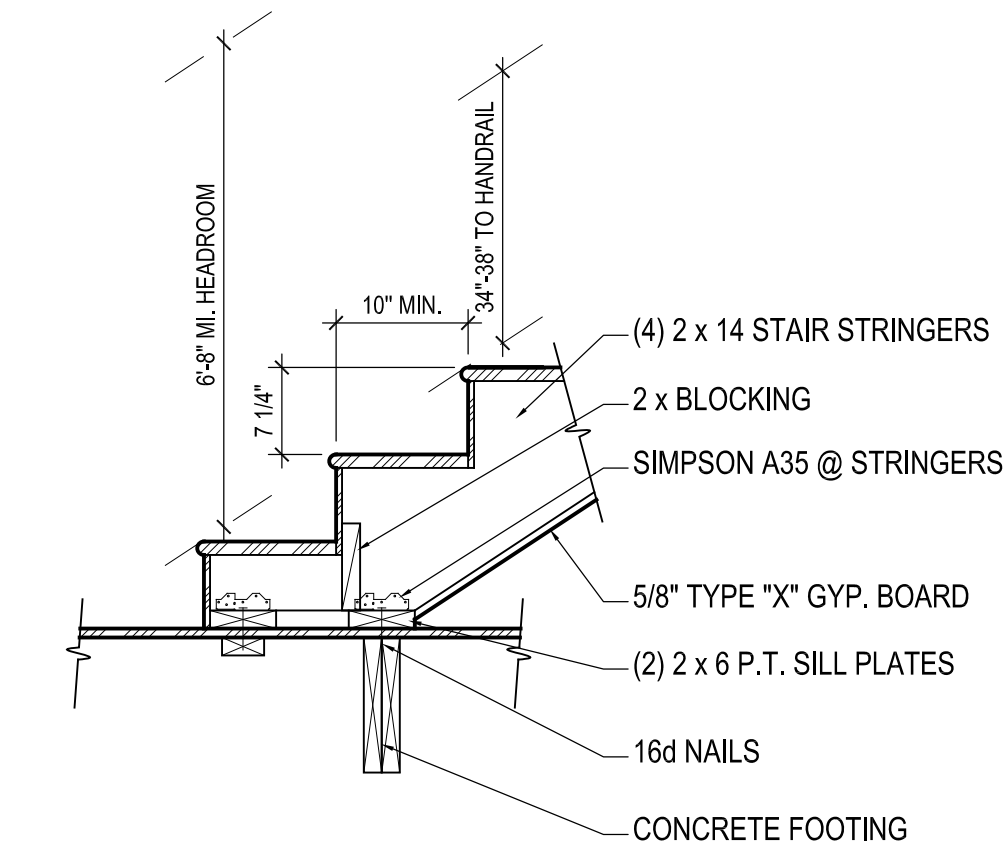
THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.



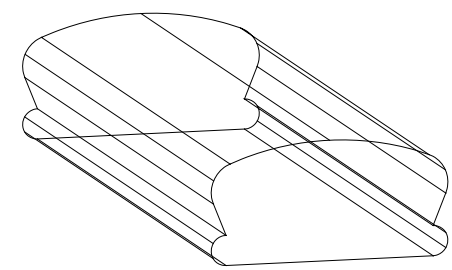
GUARDRAIL DETAIL - 3
SCALE : NTS



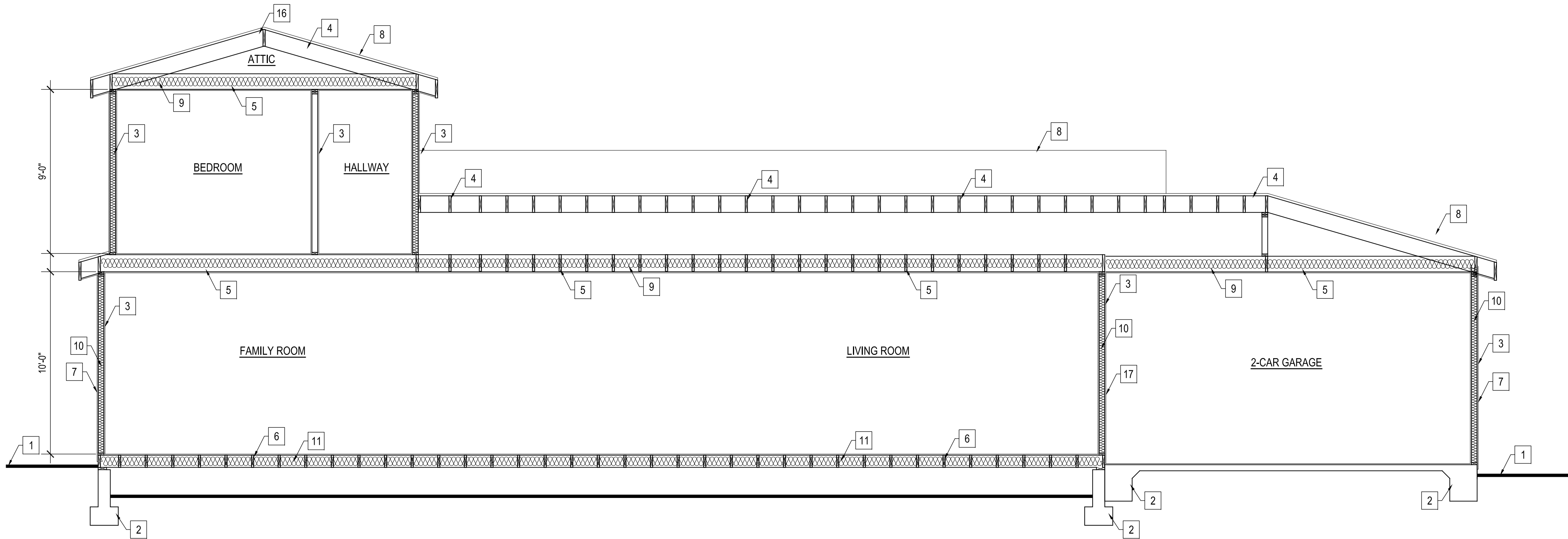
STAIR DETAIL - 1
SCALE : NTS



STAIR DETAIL - 2
SCALE : NTS

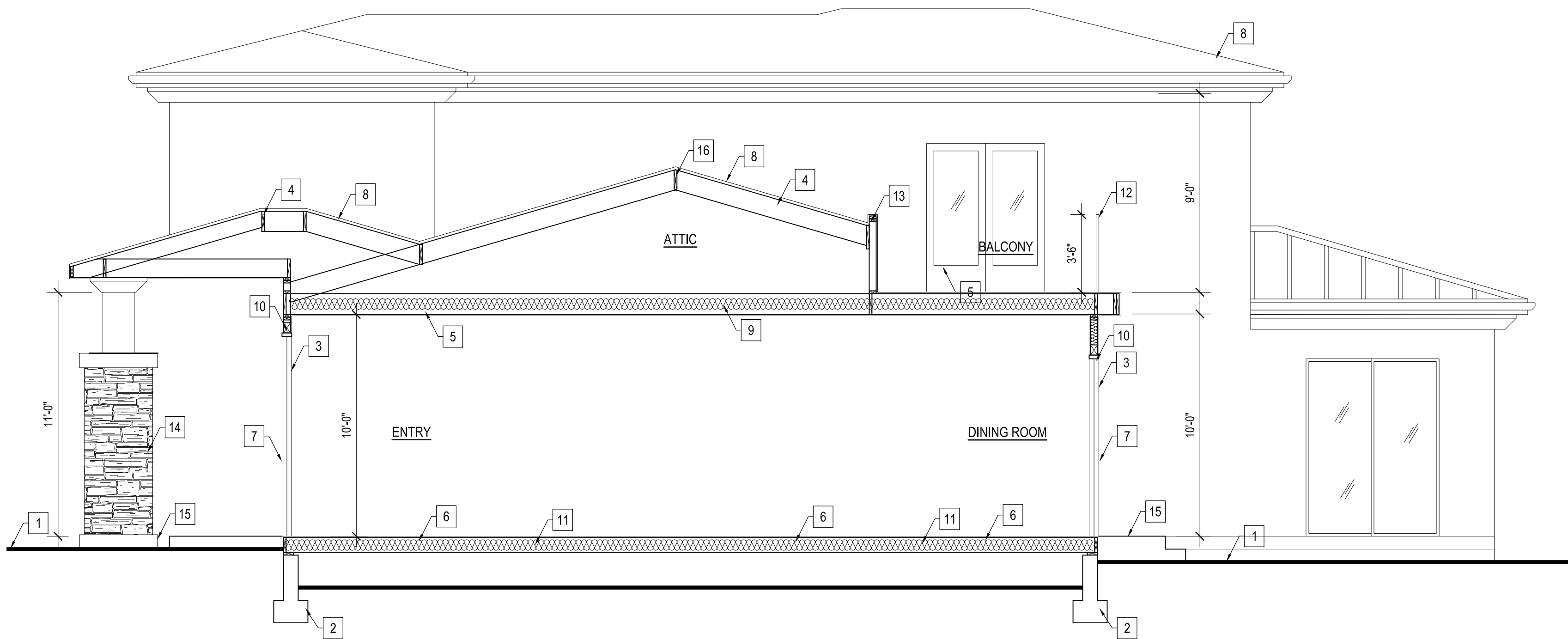


- PROVIDE A MINIMUM OF ONE CONTINUOUS HANDRAIL ON STAIRWAYS WITH OR MORE RISERS AND AT ALL OPEN SIDES.
- RETURN HANDRAILS TO NEWEL POST OF WALL.
- HANDRAIL GRIPS SHALL BE EITHER TYPE I OR TYPE II.
- HANDRAILS (TYPE I) SHALL BE AT LEAST 1.25" AND 2" OUTSIDE DIAMETER. IF HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6.25" AND A MAXIMUM CROSS-SECTIONAL DIMENSION OF 2.25".
- HANDRAILS (TYPE II) WITH A PERIMETER GREATER THAN 6.25" SHALL HAVE GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. RECESSES SHALL BEGIN WITHIN 3/4" FROM THE TALLEST PORTION OF THE PROFILE AND BE AT LEAST 5/16" DEEP WITHIN 7/8" BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 3/8" TO LEVEL THAT IS NOT LESS THAN 1.75" BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH ABOVE THE RECESS SHALL BE 1.25" TO 2.75".



SECTION A-A

SCALE : 1/4" = 1'-0"



SECTION B-B

SCALE : 1/4" = 1'-0"

CROSS SECTION KEY NOTES

1. EXT'G GRADE
2. NEW CONC. FOUNDATION PER STRUCTURAL
3. NEW 2" x STUD WALL
4. NEW 2" x ROOF RAFTERS
5. NEW 2" x CEILING JOISTS
6. NEW 2" x FLOOR JOISTS
7. NEW 7/8" SMOOTH STUCCO
8. NEW CLASS 'A' ROOF LIGHTWEIGHT CONCRETE
9. NEW R- -- INSULATION
10. NEW R- -- INSULATION
11. NEW R- -- INSULATION
12. NEW GUARDRAIL 42" MIN. HT.
13. NEW LOW WALL 42" HT. MIN.
14. NEW COLUMN
15. NEW CONC. LANDING
16. NEW RIDGE BOARD
17. NEW 5/8" TYPE 'X' GYP BOARD

REVISIONS:	
Δ	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888-424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

SECTIONS

AIVAZIAN RESIDENCE

924 OLD PHILLIPS RD. GLENDALE, CA 91207

DATE:	04/2020
DRAWN BY:	NRK
JOB NO.	20028

SHEET NO.

A4.1

RESIDENTIAL REMODEL / ADDITION

924 OLD PHILLIPS RD. GLENDALE, CA 91207

PROJECT INFORMATION

PROJECT LOCATION
924 OLD PHILLIPS RD.
GLENDALE, 91207

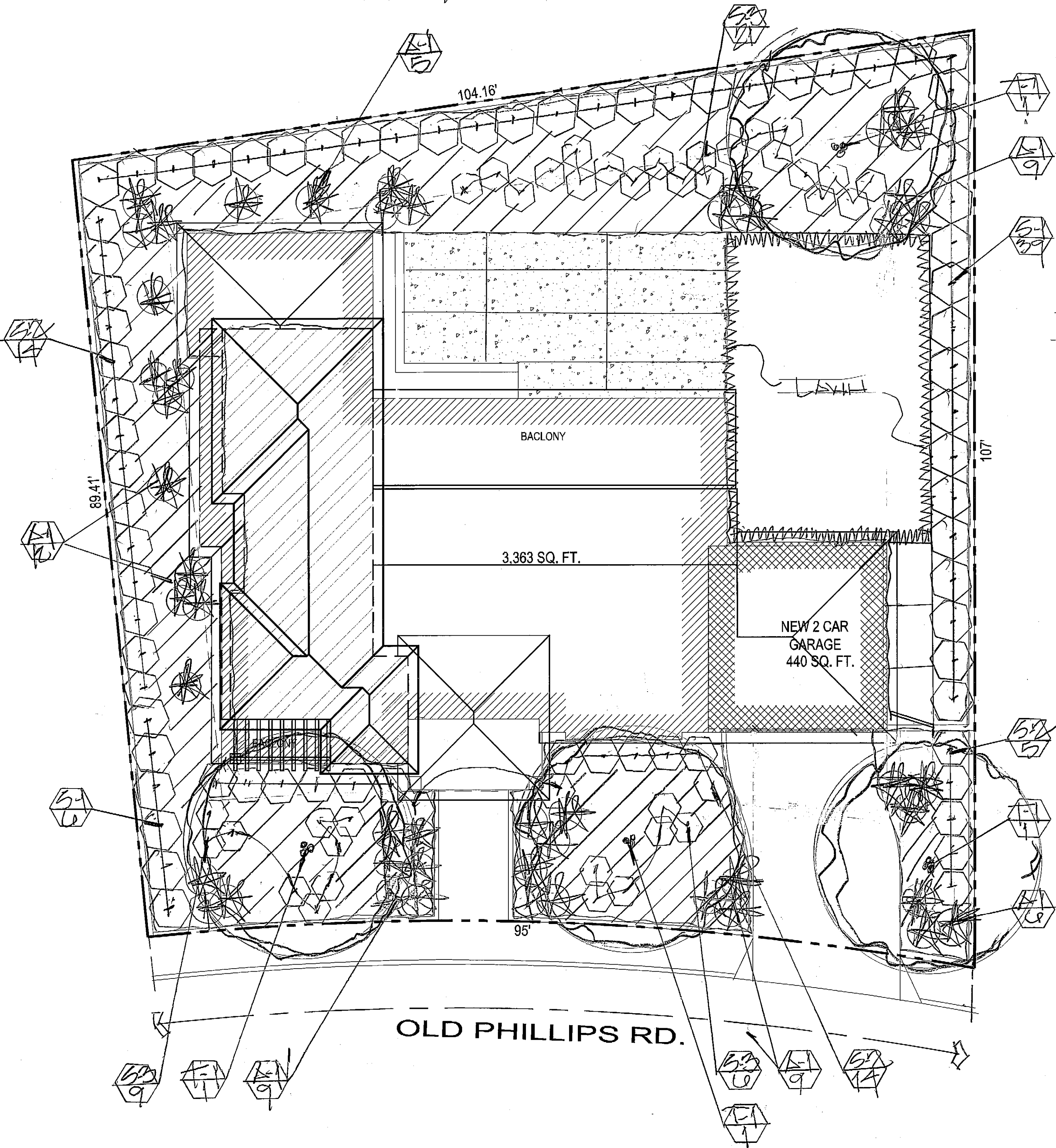
OWNER
AIVAZIAN
924 OLD PHILLIPS RD.
GLENDALE, 91207

PROJECT DESIGNER
DESIGNNRK
213 N. ORANGE STREET, STE. E
GLENDALE, 91203

OFFICE : 818.823.7286
FAX : 888.424.8125
E-MAIL : INFO@DESIGNNRK.COM



SCALE: 1/8" = 1'-0"



WATER USAGE (LINCOLN)

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	SPECING
LX	T-1	OLEA EUROPA 'SMIL'	FRUITLESS OLIVE	30"BX	4
LX	S-1	YUENIA VISCOSA	HOPSEY BUSH	50N	45 5'D.O.
LX	S-2	ALSTERS HIBISCUS	BLUE HIBISCUS	50N	55 4'D.O.
LX	S-3	ACACIA 'BLUE FLAME'	BLUE FLAME ACACIA	50N	50 3'D.O.
LX	A-1	DIETES BICOLOR	FORTNIGHT LILY	50N	50 RANDOM
LX	LXN	BACULA VIOLET	BUFFALO GRASS	50N	-
LX	GROUND COVER	SENECIO SERPENS	BLUE SENECIO	PLATS	AS NEEDED 12'D.O.

LX = LOW WATER USAGE / P.F. = 3
LANDSCAPE AREA = 4,500 SQ. FT.

LEGEND

- PROPOSED TREE
- PROPOSED SHRUB
- PROPOSED ACCENT
- PROPOSED GROUND COVER
- PLANT SYMBOL QUANTITY

A MINIMUM 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT FOR TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING. APPLICATIONS WHERE MULCH IS CONTRAINDICATED. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT RATE OF A MINIMUM OF 4 CUBIC YARDS SOIL PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO THE SOIL.

PLANTING PLAN

IRRIGATION COMPLIANCE

I HAVE COMPLIED WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



LARRY G. TISON & ASSOCIATES
LARRY G. TISON, A.S.L.A.
LANDSCAPE ARCHITECTURE
314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205
818-241-9169

REVISIONS:
1

213 N. ORANGE ST. STE. E
GLENDALE, CA 91203
818.823.7286 O.
888.424.8125 F.
WWW.DESIGNNRK.COM
INFO@DESIGNNRK.COM

designNRK
residential +
commercial
design

COVER SHEET & SITE PLAN

AIVAZIAN RESIDENCE

924 OLD PHILLIPS DR., GLENDALE 91207

DATE: 8-24-21
DRAWN BY: LAT
JOB NO. 20028

1-1

RESIDENTIAL REMODEL / ADDITION

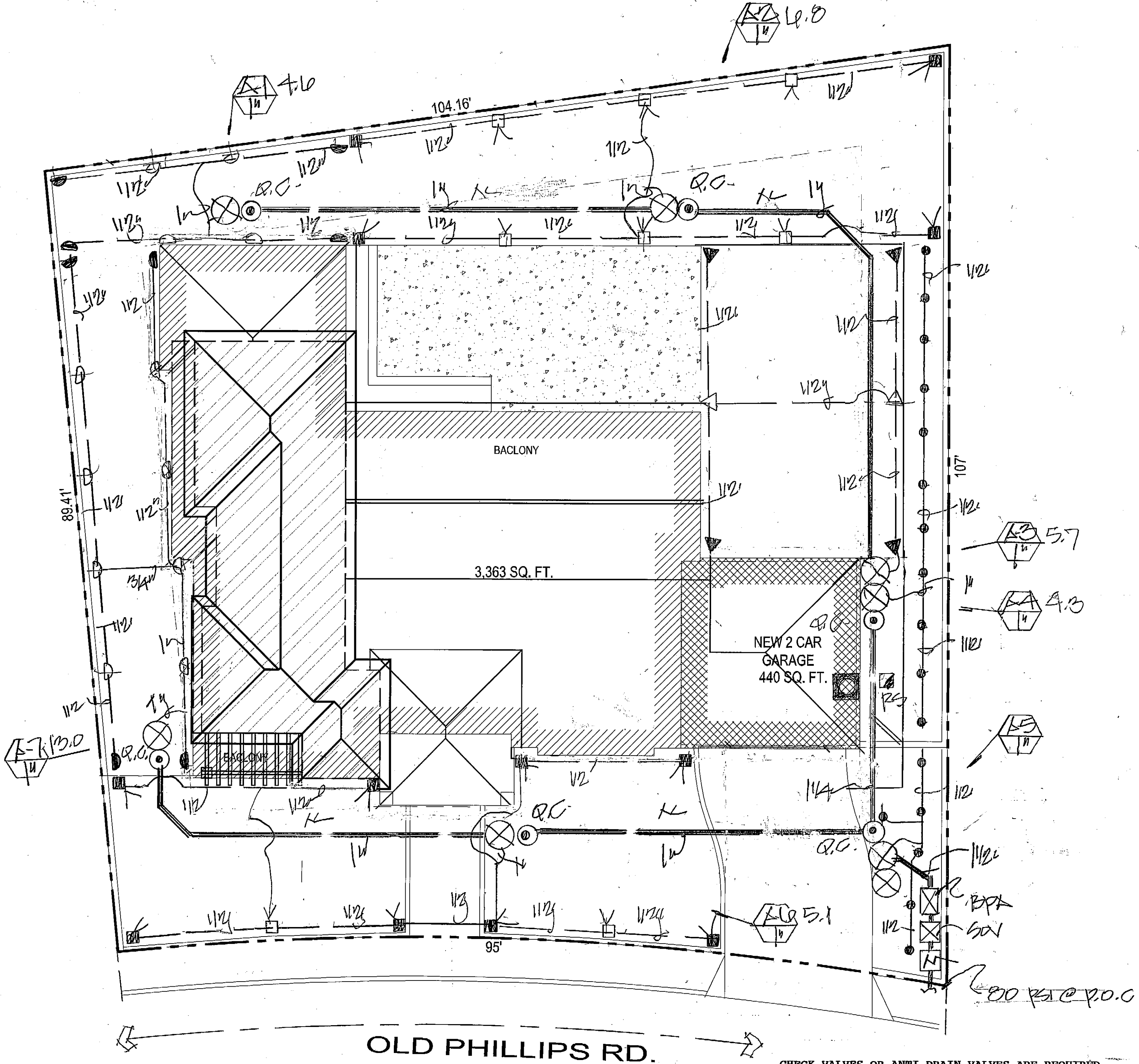
924 OLD PHILLIPS RD. GLENDALE, CA 91207

PROJECT INFORMATION

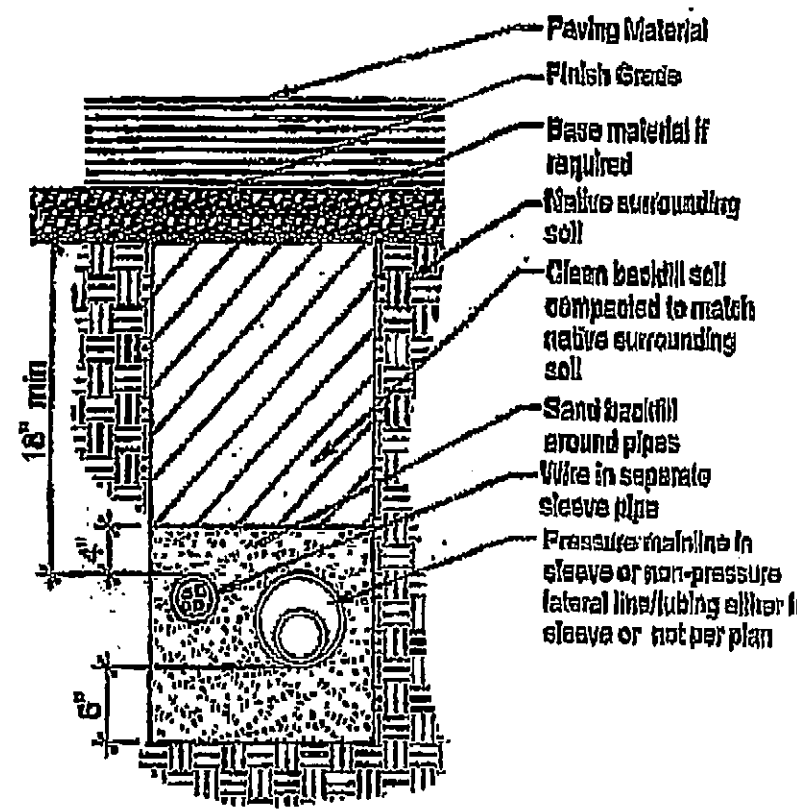
PROJECT LOCATION
924 OLD PHILLIPS RD.
GLENDALE, 91207

OWNER
AIVAZIAN
924 OLD PHILLIPS RD.
GLENDALE, 91207

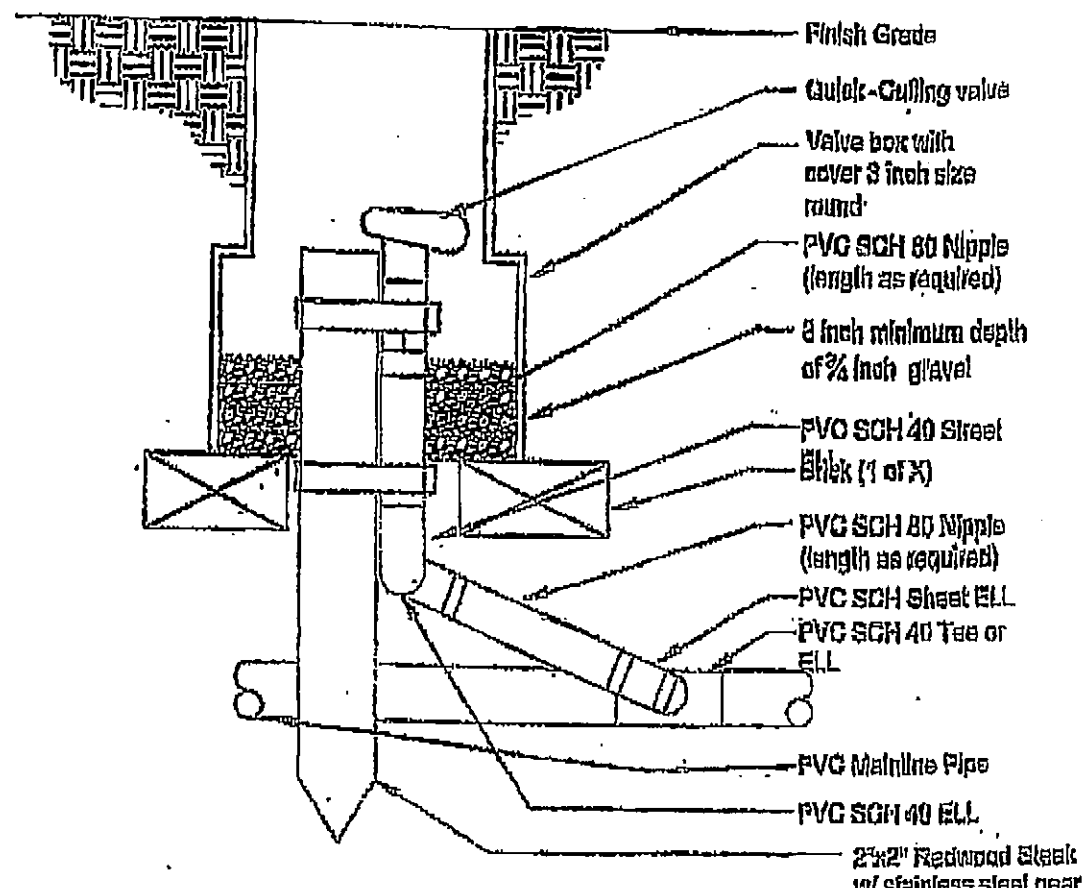
PROJECT DESIGNER
DESIGNNRK
213 N. ORANGE STREET, STE. E
GLENDALE, 91203
OFFICE : 818.823.7286
FAX : 888.424.8125
E-MAIL : INFO@DESIGNNRK.COM



Reference Evapotranspiration (ET _o) /43.7									
Hydrozone # Planting Description*	Plant Factor (PF)	Irrigation Method*	Irrigation Efficiency (%)	ET _o x (PF x IE)	Landscape Area (sq. ft.)	ET _o x Area	ET _o x Area	ET _o x Area	Estimated Total Water Use (ET _o x Area)
Regular Landscape Areas									
A-1/12	.3	S	.75	.4	240	120	120	120	120
A-2/12	.3	S	.75	.4	120	60	60	60	60
A-3/12	.3	S	.75	.4	120	60	60	60	60
A-4/12	.3	S	.75	.4	120	60	60	60	60
A-5/12	.3	S	.75	.4	120	60	60	60	60
A-6/12	.3	S	.75	.4	120	60	60	60	60
A-7/12	.3	S	.75	.4	120	60	60	60	60
Totals					450	1809	1809	1809	43985
Special Landscape Areas									
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals									



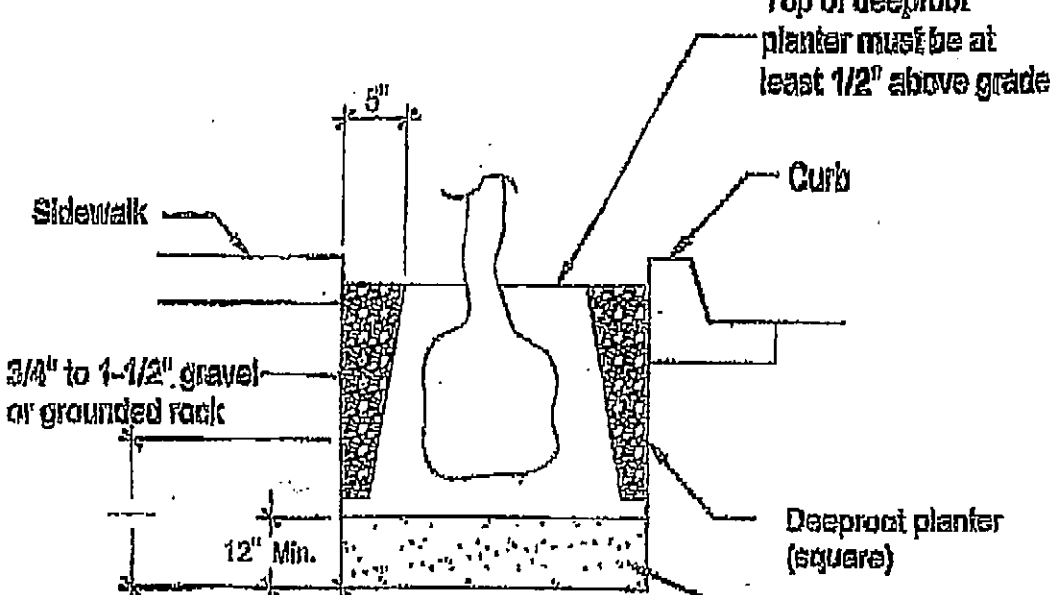
Pipe & wire trenching



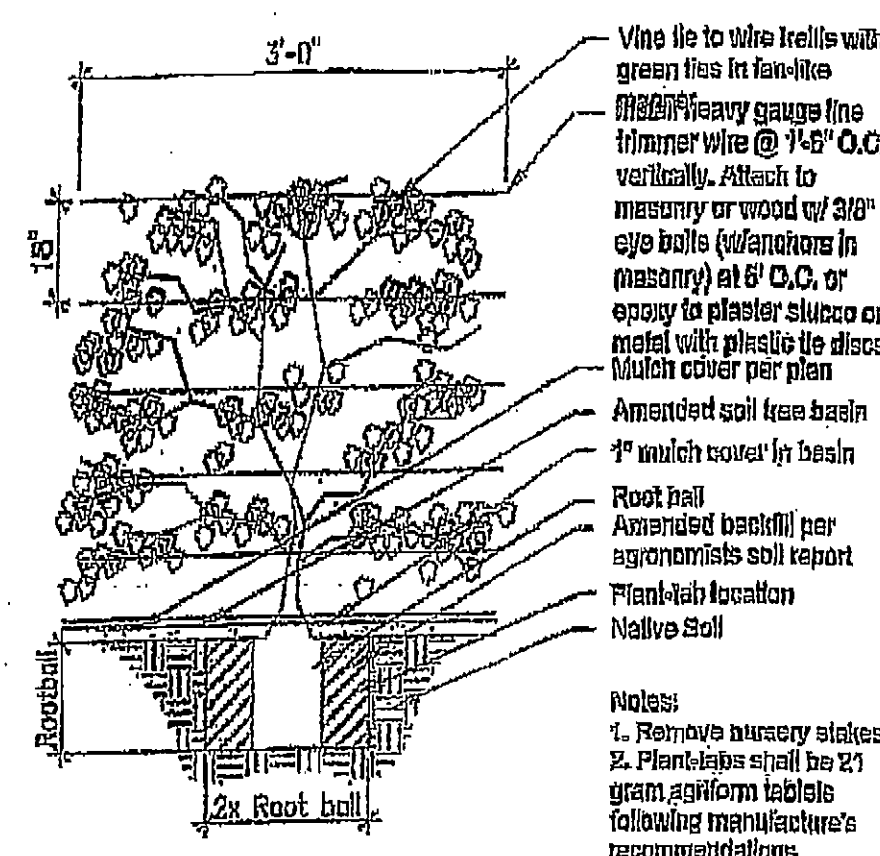
Quick coupling valve

Note:

A typical surround planting using the deeproot preformed planter



Tree Root barriers



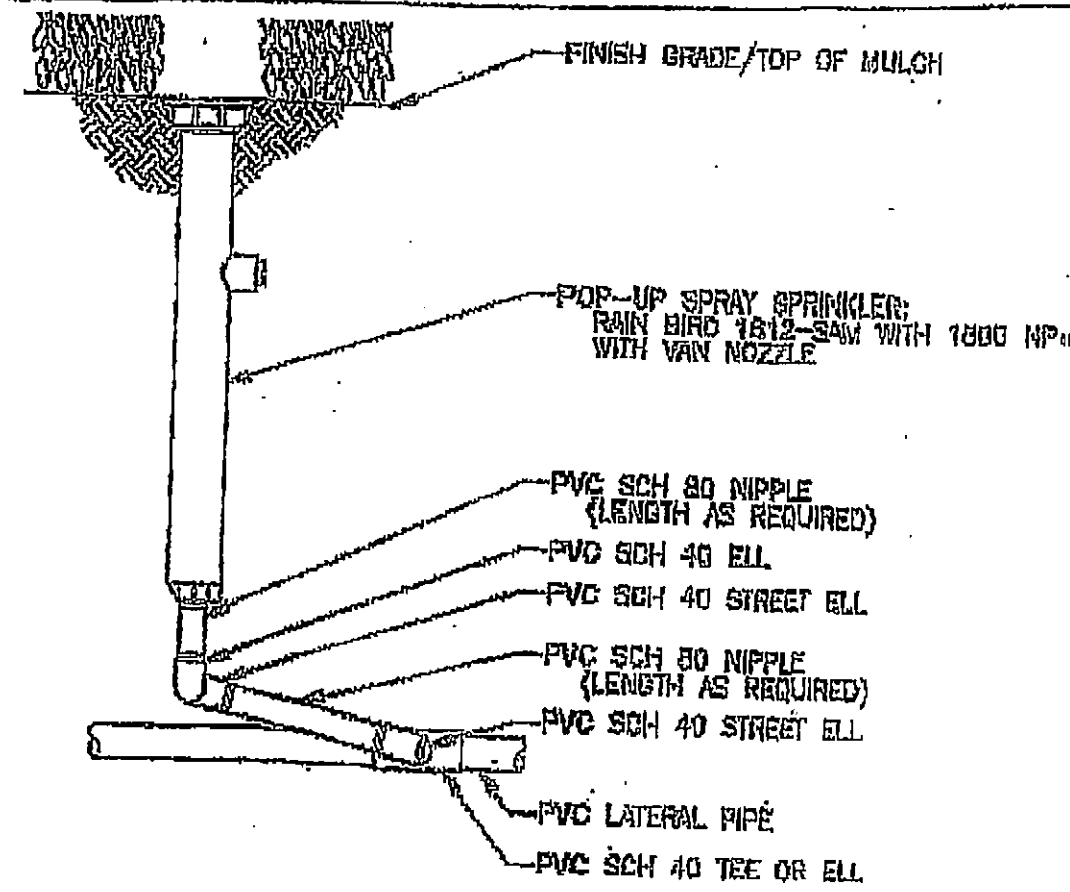
Vine Planting detail

- Contractor shall verify plant count for bidding purposes.
 - Ground cover indicated by shall be continuous under shrub.
 - Planting areas which have no cover indicated shall receive 3" min. fine redwood bark as a ground cover.
 - Contractor shall guarantee plant material for 90 days after installation and replace any diseased or damaged materials during that one year period.
 - The following amendments shall be uniformly broadcast and thoroughly incorporate to a depth of 12" min. by rototiller equal amount per. 1,000 sq.ft.
 - Cu. yd. (2") nitrogen stabilized organic amendment from redwood sawdust, fir dust, or finely ground bark 5 lbs. ammonium sulfate.
- Note: This formula is a Std. mix and will change if there are any unusual soil conditions at the site. Compacted backfill shall be 100% on site soil.

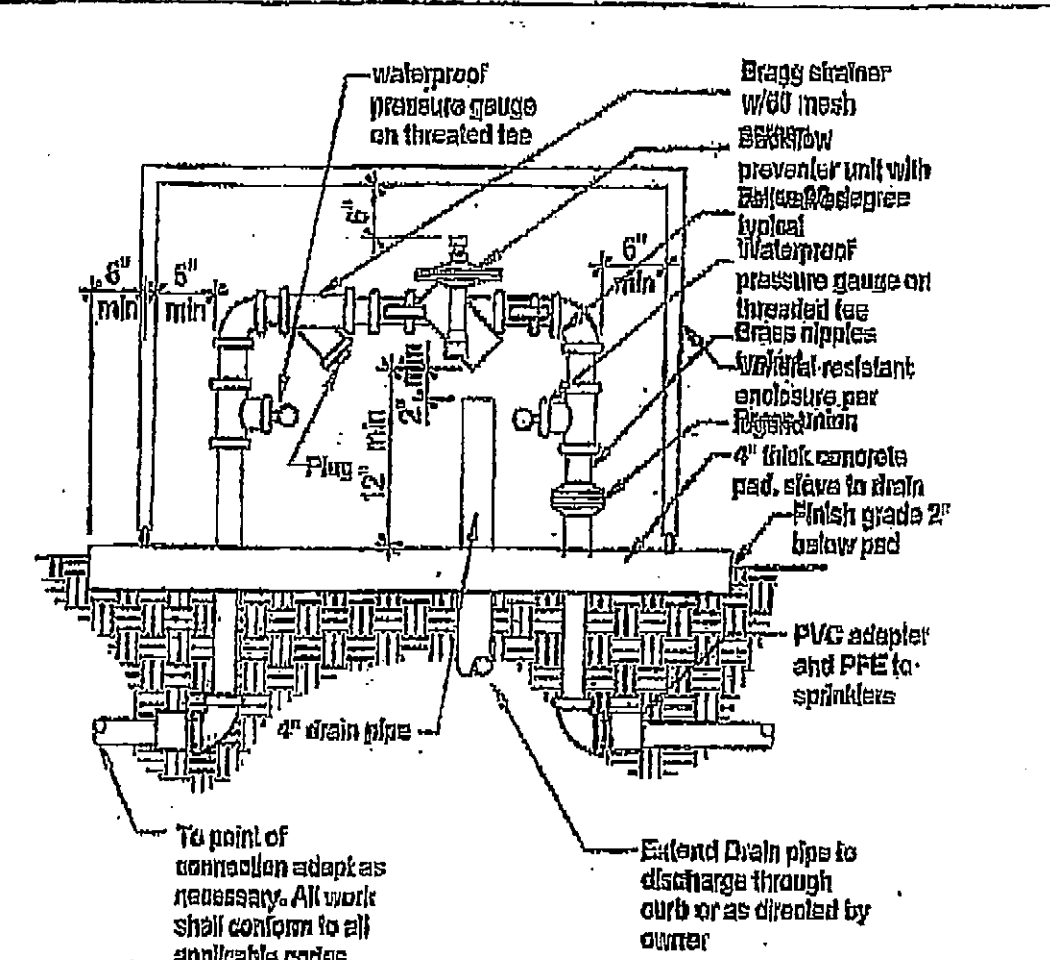
Landscape Notes

Soil Texture	Minimum rate (gals per hour)							
	Cover	Base	Cover	Base	Cover	Base	Cover	Base
Course Sandy Soil	2.00	2.00	2.00	1.50	1.50	1.00	1.00	0.50
Course sandy soil over compact loam	1.75	1.50	1.25	1.50	1.00	0.75	0.75	0.40
Light Sandy	1.75	1.00	1.25	0.80	1.00	0.80	0.75	0.40
Light Sandy compacted subsoil	1.25	0.75	1.00	0.50	0.75	0.40	0.50	0.30
Uniform Soil	1.00	0.50	0.80	0.40	0.50	0.30	0.40	0.20
Light over compact soil	0.80	0.30	0.50	0.25	0.40	0.25	0.30	0.10
Light clay over	0.20	0.15	0.15	0.10	0.12	0.05	0.10	0.05

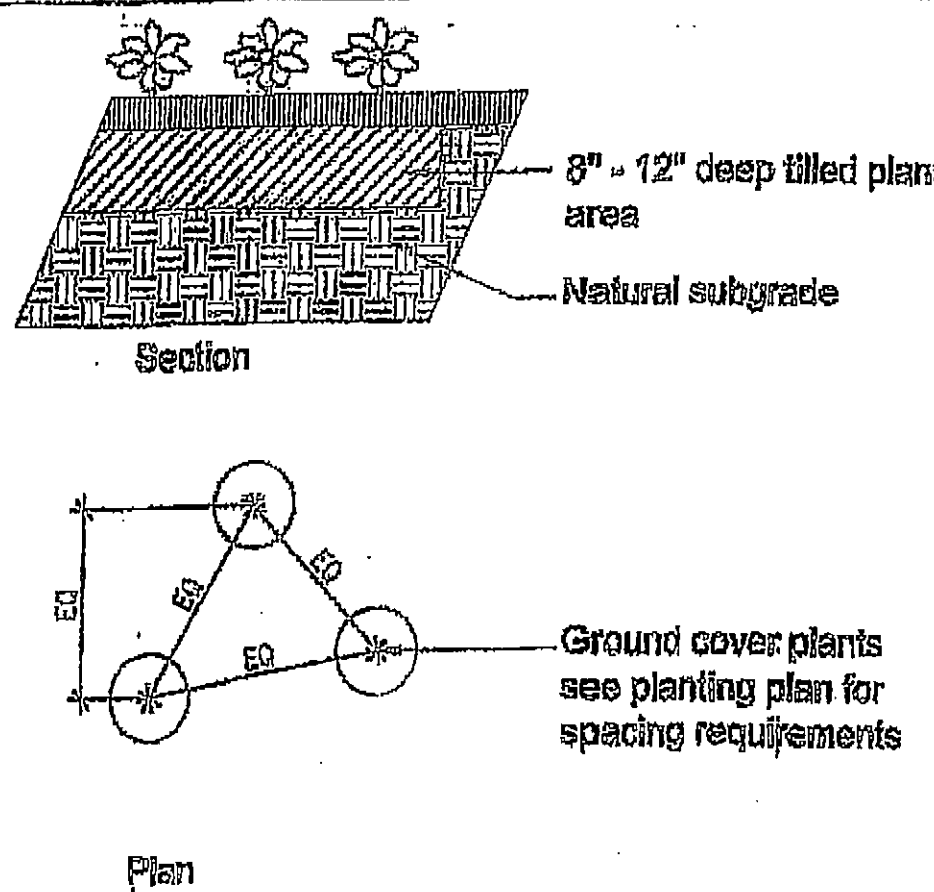
Soil characteristics



POP-UP SPRAY SPRINKLER



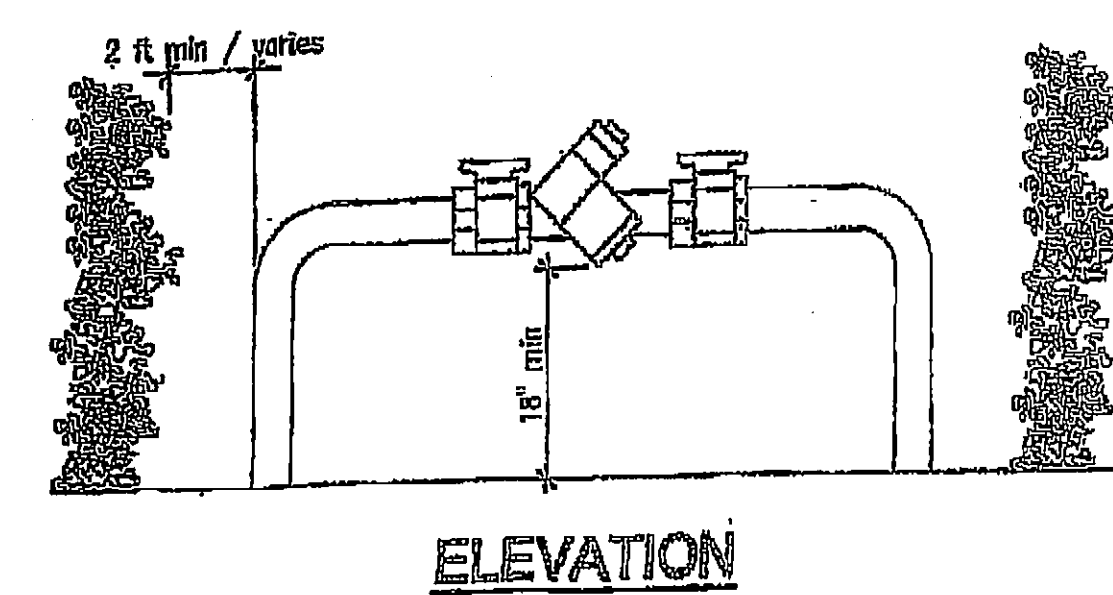
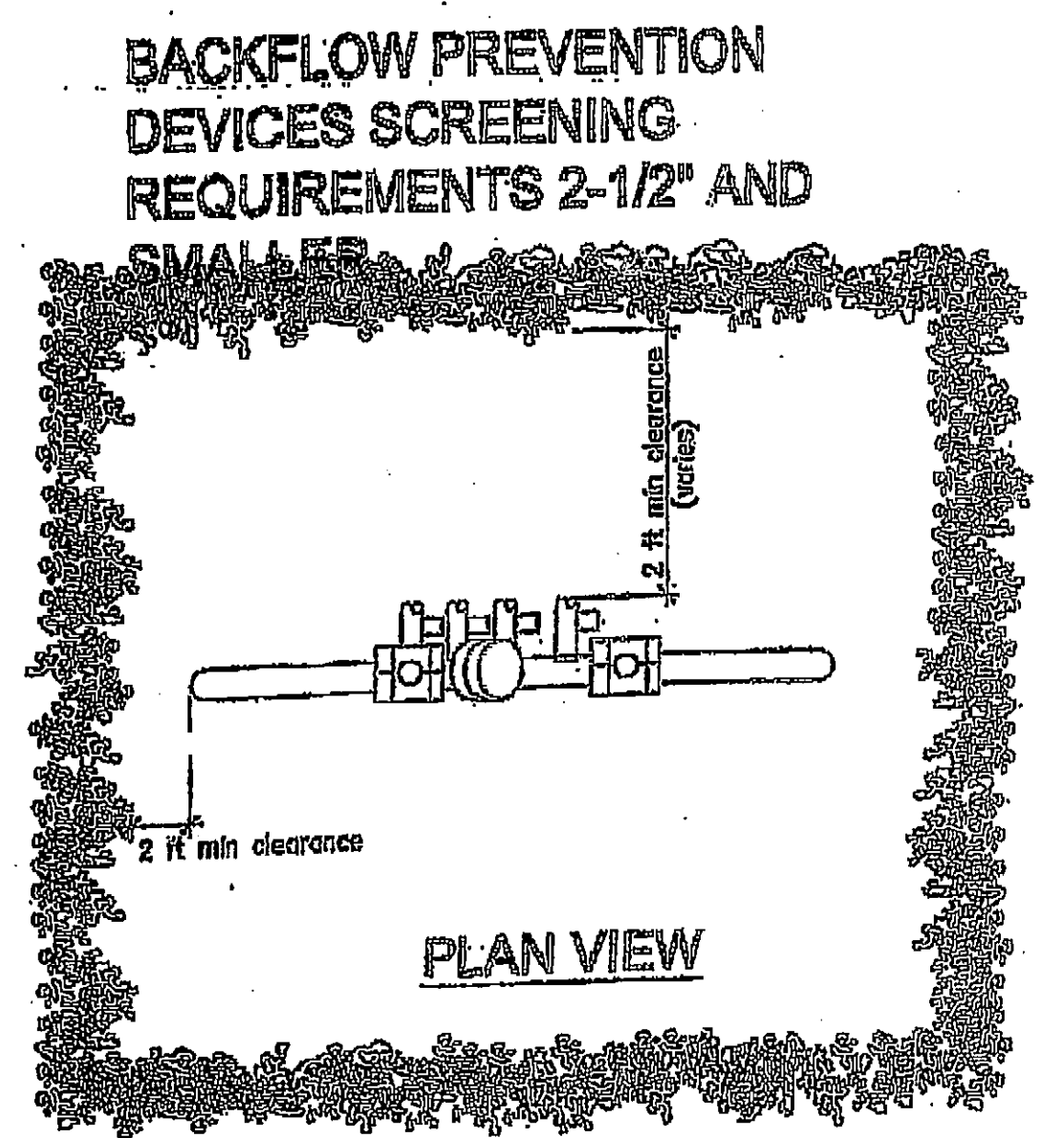
Backflow preventer



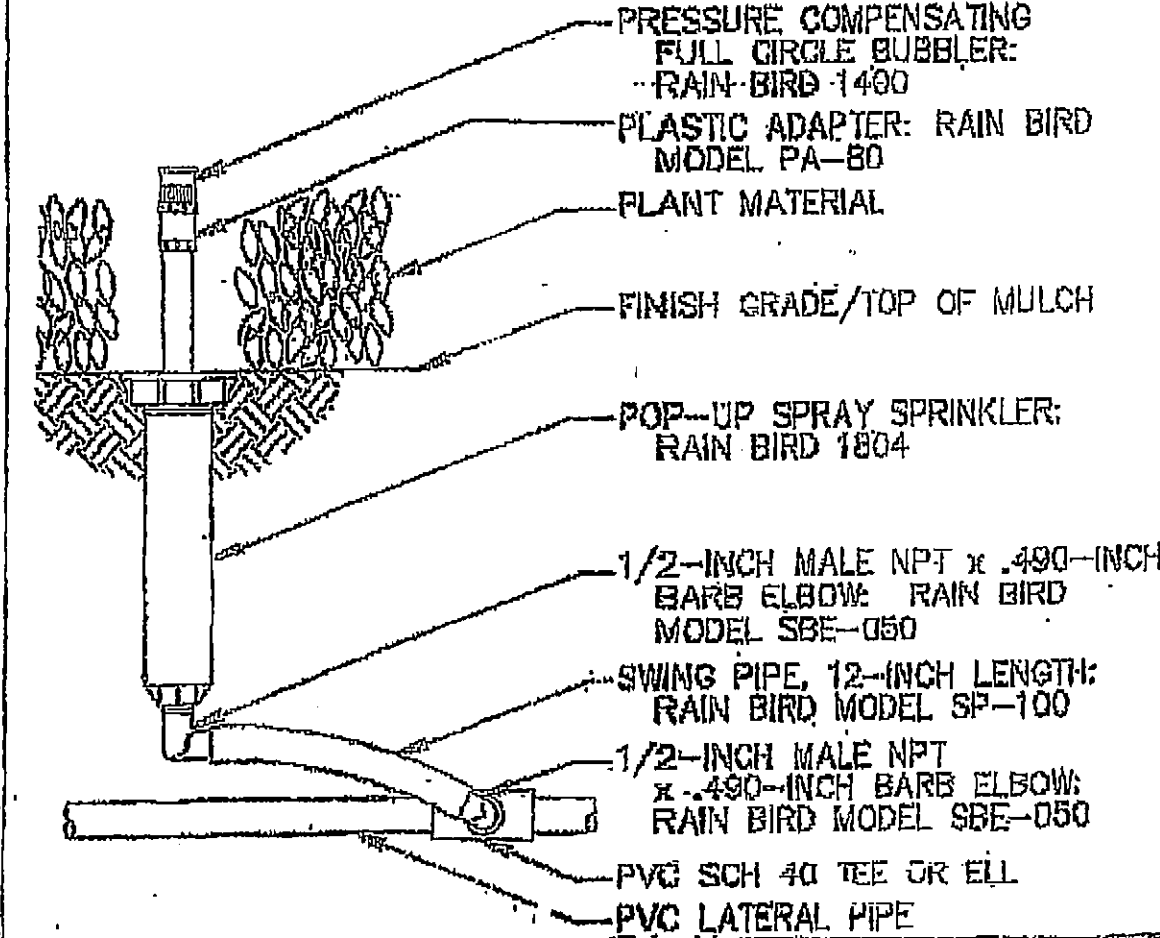
Ground Cover planting detail

- All irrigation lines under drives to be installed in pvc sleeve @ 18" depth min.
 - Locate all RCV's and HB's in planting areas. (typ.)
 - Jet all lines and trenches under paving 90% min.
 - Install remote control valve in ametek 12" box or equal (one valve per box) & marked "irrigation", located boxes in ground cover areas whenever possible and a min. 12" from paving or curbs.
 - The contractor shall provide owner with a completely operation system and clean set of marked prints as "as-built" drawing. Reference all trenches with dimensions to nearest building or paving.
 - The contractor shall warrant that the system will be a free from defects of workmanship and materials for a period of one year. All repairs necessary shall be made at no cost to the owner.
- Note: All other requirements to be per city standards and specifications.

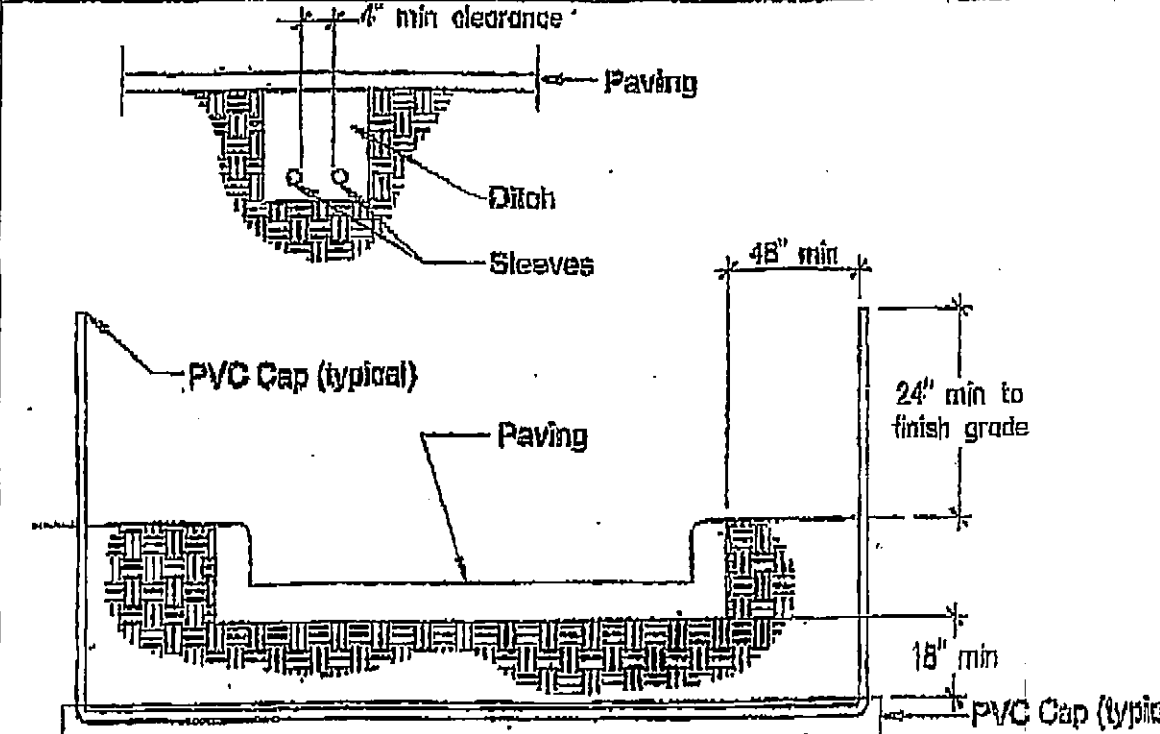
Irrigation notes



BACKFLOW DEVICE SCREENING DETAIL



PRESSURE COMPENSATING FULL-CIRCLE BUBBLER

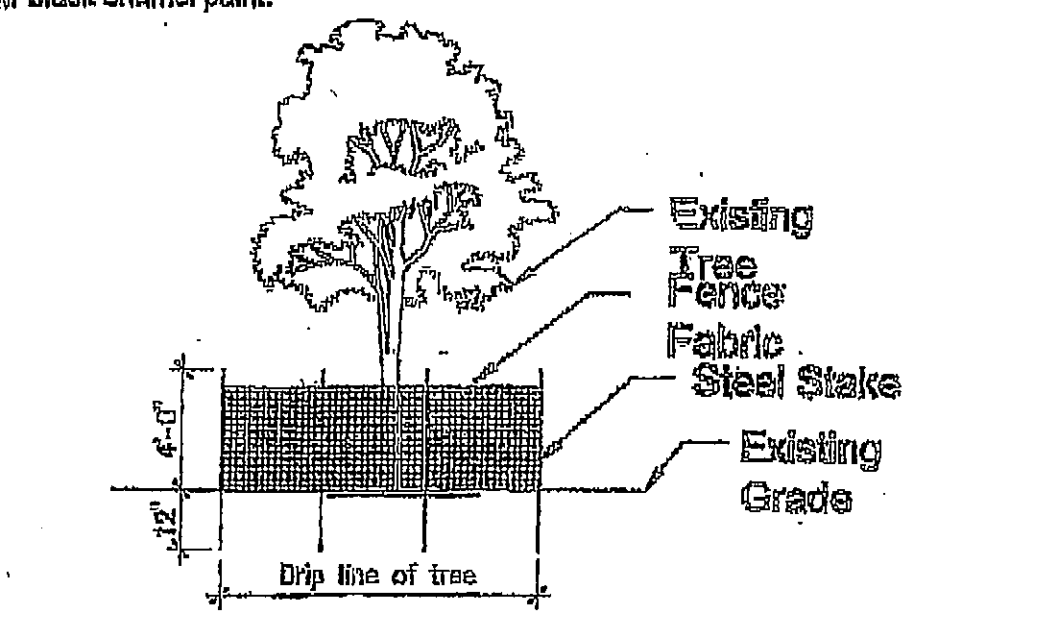


- Notes:
- All PVC irrigation sleeves to be class 200 pipe
 - All joints to be solvent welded and watertight
 - Where there is more than one sleeve, extend the smaller sleeve to 24-inches minimum above finish grade
 - Mechanically temp to 95% compaction.

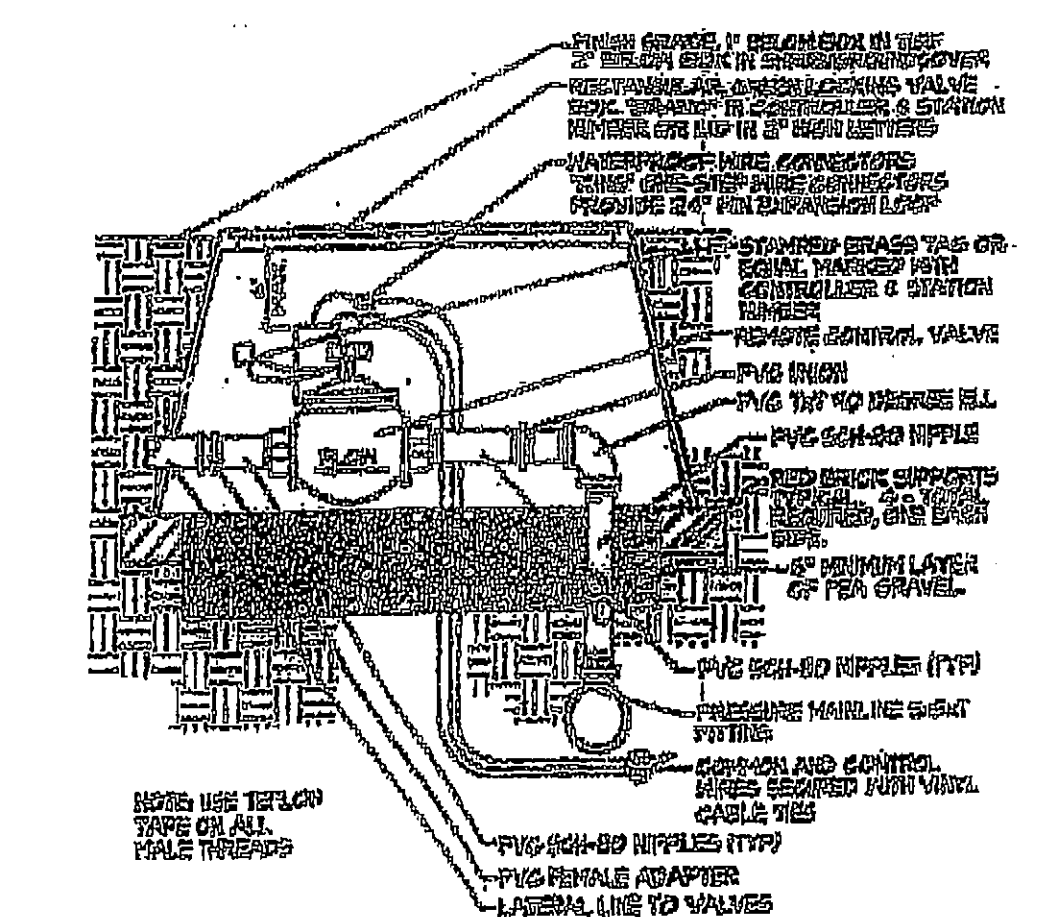
Sleeving

Note:

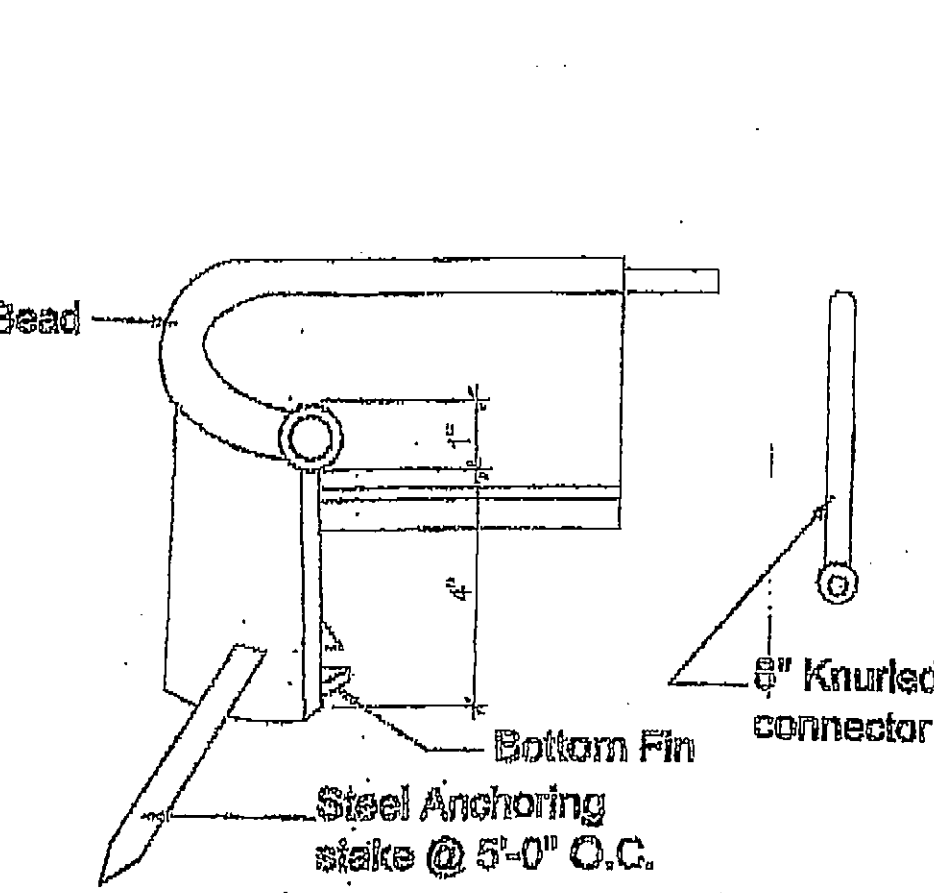
- Drip line of tree shall be enclosed w/ a 4'-0" high fence, fence fabric to be durable and bright color, stake to be steel, size and installed to be depth of 12" min.
- Any trenching required within the drip line of the tree shall be hand dug. Any roots cut over 2" shall be sealed w/ black enamel paint.



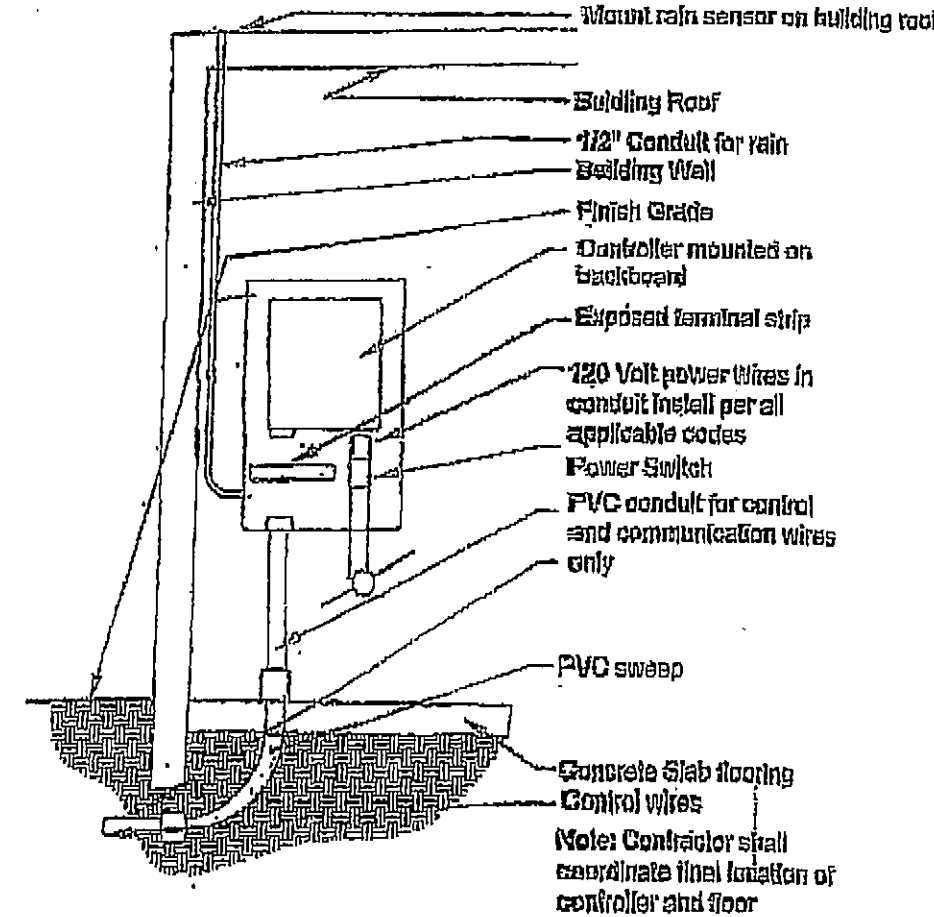
Projection of Existing Tree



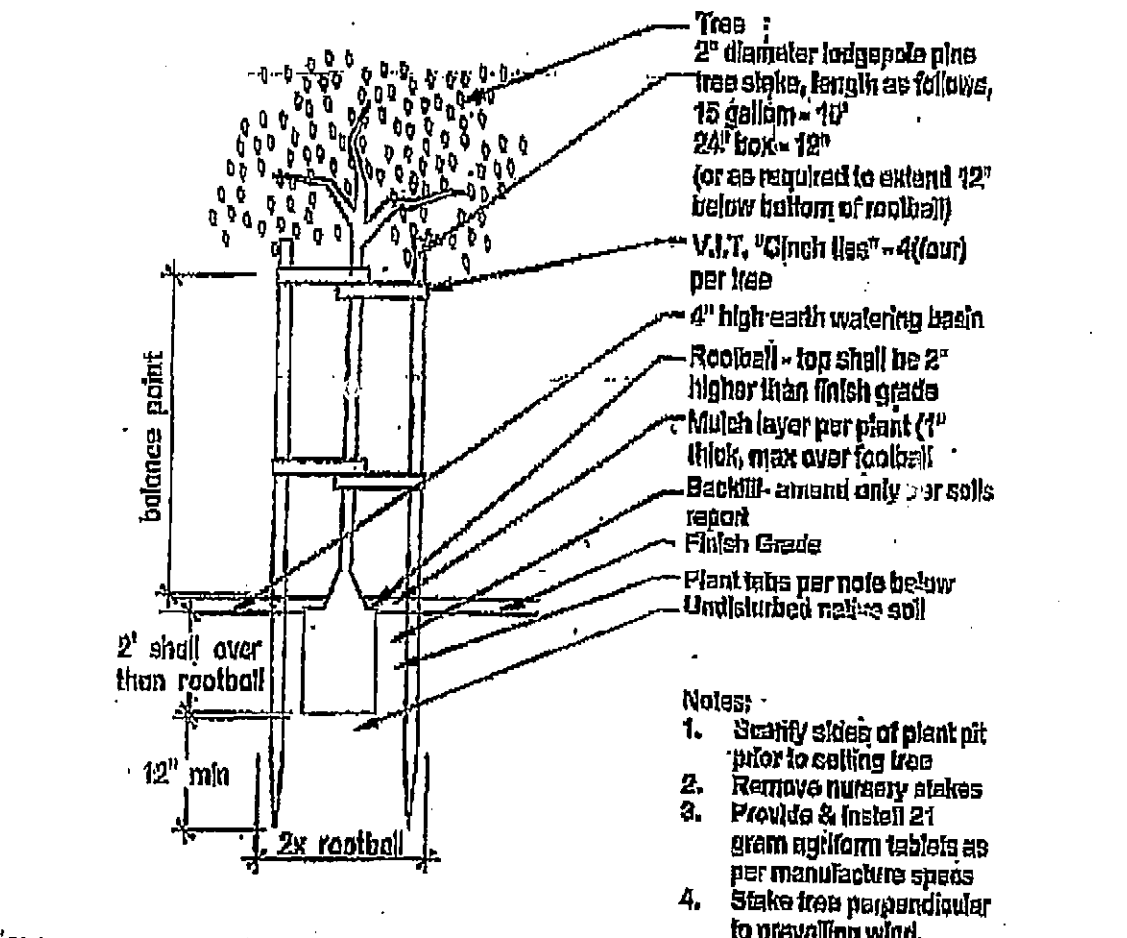
REMOTE CONTROL VALVE



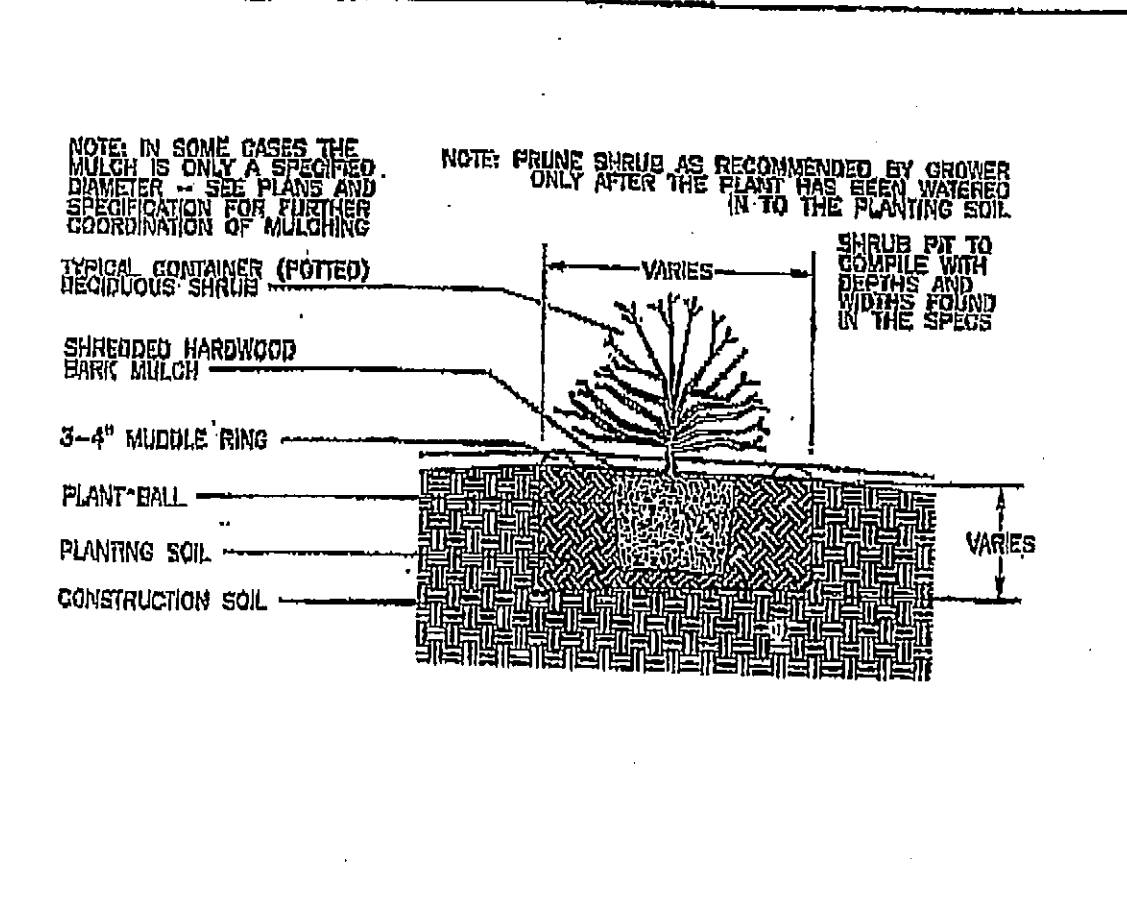
Polyethylene edging



Solid-state Controller



Tree staking detail



CONTAINER SHRUB PLANTING DETAIL

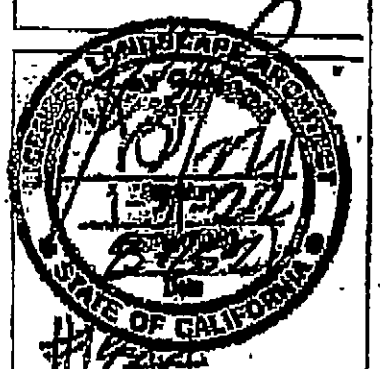
Revisions

THE DRAWING AND ANY CONTAINED INFORMATION IS THE PROPERTY OF LANDSCAPE ARCHITECTURE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF LANDSCAPE ARCHITECTURE IS PROHIBITED.

Larry G. Tison & Associates
Larry G. Tison A.S.T.A.
LANDSCAPE ARCHITECTURE
314 E. Broadway Suite 204, Glendale, California 91205
818-244-9189
Larry@lgt.com

Note: use details as applicable to this project only.

LANDSCAPE DETAIL & SPECIFICATION PLAN



DRAWN: LGT
CHECKED: [Signature]
DATE: [Blank]
JOB NO.: [Blank]
SHEET: [Blank]